



HISTORIC PRESERVATION REVIEW COMMISSION



TERRY BREJLA, CHAIR
LISA DEHART, VICE CHAIR

SEPCIAL AGENDA HISTORIC PRESERVATION REVIEW COMMISSION SEPTEMBER 12, 2022 ZOOM 4:00 p.m.

IMPORTANT PUBLIC NOTICE: Under the Governor's Executive Order N-25-20, this meeting will allow members to participate by teleconference

PUBLIC PARTICIPATION PROCEDURES

In order to protect public health and the safety of Tuolumne County citizens, this meeting will be physically closed to the public. Public Comment will be opened and closed individually for each agenda item listed below, excluding Reports. To observe or participate in this meeting, please use the following link: <https://us02web.zoom.us/j/86348688939> For detailed Zoom instructions go to the Agenda Packet <https://www.tuolumnecounty.ca.gov/140/Historic-Preservation-Review-Commission>.

You also may submit written comments by U.S. mail at 2 South Green Street, Sonora, CA 95370 or email (DRuby@co.tuolumne.ca.us) for retention as part of the administrative record. Comments will not be read during the meeting.

PUBLIC FORUM: 15 minutes

The public may speak on any item not on the printed agenda. No action may be taken by the Commission.

COMMISSION BUSINESS:

- A. Adopting Resolution HPRC2022-001 authorizing remote teleconference meetings of HPRC for the period of September 12, 2022 to October 12, 2022
- B. Minutes of the meeting of May 3, 2021
- C. Reports from Staff and Commissioners

PUBLIC HEARINGS:

Project Review – Review the following project; take any necessary action.

1. **BOON**, Historic Conditional Use Permit CUPH22-002 to allow a 26 X 40-foot metal shade canopy on The service Station's back patio. The project site is a 3,405± square foot parcel zoned C-1:D:HDP:MX (General Commercial: Design Review: Historic Design Preservation: Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code (TCOC).

The project site is located at 18255 Smoke Street, approximately 60 feet northwest of the intersection of Main Street and Smoke Street in the community of Jamestown. Within a portion of Sections 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian. The project site is located within Supervisorial District 5. Assessor's Parcel Number (APN): 003-111-011.

2. GRAY,

1. Zone Change RZ21-013 to rezone a 0.19± acre parcel from C-1:D:H:HDP:MX (General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) to M-U (Mixed Use): D;H:HDP:MX combining under the Title 17 of the Tuolumne County Ordinance Code (TCOC).
2. Site Development Permit SDP21-007 to allow construction and/or expansion of an existing gas station, construction of new restrooms. Restoration and conversion of a previous restroom facility, development of new parking area, outdoor patio area, fencing, new utility connections and associated infrastructure, for an intended retail commercial use.
3. Historic Conditional Use Permit CUPH21-002 to allow exterior alterations and demolition within the subject parcel per Chapter 17.44(:H) and Chapter 17.45 (:HDP) of the TCOC.

The project site is located at 18211 and 18223 Main Street in the community of Jamestown, on the northeast corner of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

- 3. JOHNSON,** Historic Conditional Use Permit CUPH21-003 to allow development of a Single Family Dwelling (SFD), and Accessory Dwelling Unit (ADU), a shed and a fence on a 2.85± acre parcel zoned M-U:D:H:MX (Mixed Use: Design Review: Historic: Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code.

The project site is located at 10269 Donovan Street, approximately 254± feet east of the intersection of Main Street and Donovan Street in the community of Jamestown. The project site is located within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-210-031.

COMMITTEE REPORTS:

1. **Demolition Review Committee** – Committee report; take action as necessary.
2. **Grant Committee** – Committee report; take action as necessary
3. **“Preserve America” Committee** – Committee report; take action as necessary.

ADJOURNMENT

The Minutes, Staff Reports, and other documents for the items referenced in this Agenda are available for review at the Tuolumne County Community Development Department, 48 Yaney, Sonora, California, and online at www.tuolumnecounty.ca.gov. Any other materials related to the items referenced in this Agenda that are provided by the County to the HPRC Commissioners prior to the meeting are available for review at the Tuolumne County Community Development Department, 48 Yaney, Sonora, California, and will be available at the meeting. Any materials provided to the Commissioners during the meeting by the County will be available for review at the meeting, and materials provided by the public will be available for review at the Community Development Department the day following the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (209) 533-5633. Notification 48 hours prior to the meeting will enable the County to make reasonable arrangements to ensure accessibility to this meeting (28CFR 35.102-35.104 ADA



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

TO: Tuolumne County Committee and Commission Members

FROM: Quincy Yaley, AICP Community Development Department Director

RE: COVID-19 Meeting Procedures

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 533-5616 (Fax)
(209) 533-5909 (Fax – EHD)
www.tuolumnecounty.ca.gov

In response to increasing risks of exposure to the coronavirus (COVID-19), all the Committee and Commission meetings will be conducted and participated via Zoom. Video conferencing via Zoom will allow the Commission/Committees and County to adhere to social distancing requirements of the Brown Act and provide a way for the public to provide public comment live during the meeting.

Due to the modified meeting format and tele-conferencing meeting procedures, the Chair may choose to allow public comment on the project in an alternative fashion, rather than calling for those in favor, those in opposition, those neutral, and then any rebuttals or surrebuttals. The Chair may take public comment on the project in any order in lieu of the calling for those in favor, opposition, neutral, rebuttals, and then surrebuttals.

The Committee and Commission may elect to allow the applicant or applicant representative a specific time to speak on the project prior to taking public comments on the item. This opportunity could have a specific time length allotted, such as five or ten minutes.

As a reminder, those who wish to provide information during the public comment are not required to provide their name. County staff will notify the Chair of any individuals who wish to provide testimony and will limit the testimony to the time limit identified by the Chair.

If an item on the agenda is not identified as a “public hearing”, public comment is still required and can be conducted in a similar format to the modified procedures above.

All votes require a roll call with each Committee and Commission member to be named by County Staff prior to stating their vote. The Chair shall also identify by name the commissioner who initiated the motion and the name of the commissioner who seconds the motion. After a second is named, the Chair must allow County staff to complete a roll call vote.

It is possible that a delay may occur from the time the Chair calls for public comment on a project and when County staff can connect them into the zoom meeting. It is recommended that the Chair pause for 60-90 seconds after calling for public comment to allow for any connections to occur. If there are no individuals in the queue for commenting on a specific item, after 90 seconds has elapsed County staff will notify the Chair that there is no further public comment.

Staff may need to respond to emails or phone calls from members of the public during the meeting to provide assistance to the public if they encounter problems using the Zoom platform. Staff requests that the Chair allow additional time as needed to ensure that members of the public can engage in the meeting.

Zoom Instructions

Zoom links can be found in the agenda for each meeting. The public can view the meeting from their smartphone, on their computer browser, or listen on their telephone. Zoom does not require an account to attend the meeting, but if the public wishes to create one, their basic accounts are free.

It is possible that a delay may occur from the time the Chair calls for public comment on a project and when County staff can connect them into the Zoom meeting. The Chair will pause for 60 seconds after calling for public comment to allow for any connections to occur. If there are no individuals in the queue for commenting on a specific item, after 60 seconds has elapsed county staff will notify the Chair that there is no public comment.

Members of the public can also choose to watch the meeting and do not have to comment during the meeting. If a member of the public does not want to provide public comment live, they can provide public comment prior to the meeting via email to the Community Development Department Planning manager at OYaley@co.tuolumne.ca.us. If you would like your comments to be included in the record, please send comments to the above email address by 9:00 a.m. of the day of the noticed meeting.

If anyone is having technical difficulties with Zoom, they can visit Zoom's support page for helpful tips: <https://support.zoom.us/hc/en-us/categories/201146643>.

Below are step by step instructions on how to join and interact as an attendee via Zoom.

JOINING A WEBINAR BY LINK

- To join the webinar, click the link that we provided in the agenda.
- If you are signed in, change your name if you do not want your default name to appear.
- If you are not signed in, enter a display name.

MANUALLY JOINING A WEBINAR

- Use the 9-digit meeting ID/webinar ID provided in the agenda.
- Sign in to the Zoom Desktop or Mobile App
- Click or tap **Join a Meeting**
- Enter the 9-digit webinar ID, and click **Join** or tap **Join Meeting**
- If prompted, enter your name and email, then click **Join Webinar** or tap **Join**.
- You may change your name if you do not want your default name to appear, as you are not required to state your name.

WAITING FOR HOST TO START THE WEBINAR

- If the host has not started broadcasting the webinar, you'll receive a message letting you know to "Please wait for the host to start the meeting".

PUBLIC COMMENT

- During the public comment period you will have the option to "raise your hand" if you would like to comment on a proposed project or during the public comment portion of the meeting.
- Once you have clicked the "raise your hand" option, please wait until a staff unmutes your microphone.
- Once staff has unmuted you will have three minutes to speak.

- A staff member will verbally communicate to you and the Commissioners when you have 30 seconds remaining and then when your time is up.
- Once your allotted time is up, a staff member will mute and “lower your hand”.
- If you are participating from your smartphone, you will also have a “raise their hand” feature.
- When you are unmuted a prompt will appear to confirm you would like to be unmuted.
- Once you confirm you will be able to provide public comment.
- If you are participating via telephone call, you will need to press *9 (star 9) to “raise their hand”, and when you are unmuted you will hear “you are unmuted” allowing you to provide public comment.

END OF MEETING

- If you would like to leave the meeting before it ends, click **Leave meeting**. If you leave, you can rejoin if the webinar is still in progress, as long as the host has not locked the webinar.

Hi there,

You are invited to a Zoom webinar.

When: Sep 12, 2022 04:00 PM Pacific Time (US and Canada)

Topic: Special HPRC 9-12-22

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/86348688939>

Or One tap mobile :

US: +16699006833,,86348688939# or +16694449171,,86348688939#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 669 900 6833 or +1 669 444 9171 or +1 253 215 8782 or +1 346 248 7799 or +1 719 359 4580 or +1 646 931 3860 or +1 929 205 6099 or +1 301 715 8592 or +1 309 205 3325 or +1 312 626 6799 or +1 386 347 5053 or +1 564 217 2000

Webinar ID: 863 4868 8939

International numbers available: <https://us02web.zoom.us/j/86348688939>

Tuolumne County Historic Preservation Review Commission (HPRC)

County of Tuolumne

**FINDINGS OF THE TUOLUMNE COUNTY HISTORIC PRESERVATION REVIEW
COMMISSION (HPRC)**

AUTHORIZING REMOTE TELECONFERENCE MEETINGS

OF THE

TUOLUMNE COUNTY HISTORIC PRESERVATION REVIEW COMMISSION (HPRC)

FOR THE PERIOD SEPTEMBER 12, 2022 TO OCTOBER 12, 2022

PURSUANT TO THE RALPH M. BROWN ACT.

WHEREAS, all meetings of Tuolumne County Historic Preservation Commission (HPRC) and its legislative bodies are open and public, as required by the Ralph M. Brown Act (Cal. Gov. Code §§ 54950 – 54963), so that any member of the public may attend, participate, and view the legislative bodies conduct their business; and

WHEREAS, the Brown Act, Government Code section 54953(e), makes provisions for remote teleconferencing participation in meetings by members of a legislative body, without compliance with the requirements of Government Code section 54953(b)(3), subject to the existence of certain conditions and requirements; and

WHEREAS, a required condition of Government Code section 54953(e) is that a state of emergency is declared by the Governor pursuant to Government Code section 8625, proclaiming the existence of conditions of disaster or of extreme peril to the safety of persons and property within the state caused by conditions as described in Government Code section 8558(b); and

WHEREAS, a further required condition of Government Code section 54953(e) is that state or local officials have imposed or recommended measures to promote social distancing, or, the legislative body holds a meeting to determine or has determined by a majority vote that meeting in person would present imminent risks to the health and safety of attendees; and

WHEREAS, on March 4, 2020, Governor Newsom issued a Proclamation of a State of Emergency

1 declaring a state of emergency exists in California due to the threat of COVID-19, pursuant to the California
2 Emergency Services Act (Government Code section 8625); and,

3 **WHEREAS**, on June 11, 2021, Governor Newsom issued Executive Order N-07-21, which
4 formally rescinded the Stay-at-Home Order (Executive Order N-33-20), as well as the framework for a
5 gradual, risk-based reopening of the economy (Executive Order N-60-20, issued on May 4, 2020) but did
6 not rescind the proclaimed state of emergency; and,

7 **WHEREAS**, on June 11, 2021, Governor Newsom also issued Executive Order N-08-21, which set
8 expiration dates for certain paragraphs of the State of Emergency Proclamation dated March 4, 2020 and
9 other Executive Orders but did not rescind the proclaimed state of emergency; and,

10 **WHEREAS**, as of the date of this Findings, neither the Governor nor the state Legislature have
11 exercised their respective powers pursuant to Government Code section 8629 to lift the state of emergency
12 either by proclamation or by concurrent Findings the state Legislature; and,

13 **WHEREAS**, the California Department of Industrial Relations has issued regulations related to
14 COVID-19 Prevention for employees and places of employment. Title 8 of the California Code of
15 Regulations, Section 3205(5)(D) specifically recommends physical (social) distancing as one of the
16 measures to decrease the spread of COVID-19 based on the fact that particles containing the virus can travel
17 more than six feet, especially indoors; and,

18 **WHEREAS**, the Tuolumne County Historic Preservation Review Commission (HPRC) finds that
19 state or local officials have imposed or recommended measures to promote social distancing, based on the
20 California Department of Industrial Relations' issuance of regulations related to COVID-19 Prevention
21 through Title 8 of the California Code of Regulations, Section 3205(5)(D); and,

22 **WHEREAS**, as a consequence, the Tuolumne County Historic Preservation Review Commission
23 (HPRC) does hereby find that it shall conduct its meetings by teleconferencing without compliance with
24 Government Code section 54953 (b)(3), pursuant to Section 54953(e), and that such legislative bodies shall
25 comply with the requirements to provide the public with access to the meetings as prescribed by
26 Government Code section 54953(e)(2).

27 ///

28 ///

1 ///

2 ///

3 **NOW, THEREFORE, BE IT RESOLVED, FOUND AND ORDERED** by the Tuolumne County
4 Historic Preservation Review Commission (HPRC) , County of Tuolumne, State of California, in regular
5 session assembled on September 7, 2022 does hereby resolve as follows:

6 Section 1. Recitals. All of the above recitals are true and correct and are incorporated into this
7 Findings by this reference.

8 Section 2. State or Local Officials Have Imposed or Recommended Measures to Promote Social
9 Distancing. The Tuolumne County Historic Preservation Review Commission (HPRC) hereby proclaims
10 that state officials have imposed or recommended measures to promote social (physical) distancing based
11 on the California Department of Industrial Relations' issuance of regulations related to COVID-19
12 Prevention through Title 8 of the California Code of Regulations, Section 3205(5)(D).

13 Section 3. Remote Teleconference Meetings. The Tuolumne County Historic Preservation
14 Review Commission (HPRC) is hereby authorized and directed to take all actions necessary to carry out
15 the intent and purpose of these Findings including, conducting open and public meetings in accordance with
16 Government Code section 54953(e) and other applicable provisions of the Brown Act.

17 Section 4. Effective Date. These Findings shall take effect immediately upon its adoption and
18 shall be effective until the earlier of (i) December 13, 2021, or (ii) such time the Tuolumne County Historic
19 Preservation Review Commission (HPRC) adopts a subsequent Findings in accordance with Government
20 Code section 54953(e)(3) to extend the time during which its legislative bodies may continue to
21 teleconference without compliance with Section 54953(b)(3).

22 ADOPTED this 12th day of September, 2022 by Tuolumne County Historic Preservation Review
23 Commission (HPRC), by the following vote:

24
25 YES:

26 NO:

27 ABSENT:

28 ABSTAIN:

DATE: September 12, 2022

**SURFACE/MINERAL
RIGHTS OWNER**

/APPLICANT: Brett and Kathleen Boone

PROJECT AND LOCATION

PROJECT DESCRIPTION: Historic Conditional Use Permit CUPH22-002 to allow a 26 x 40-foot metal shade canopy on The Service Station's back patio. The project site is a 3,405± square foot parcel zoned C-1:D:HDP:MX (General Commercial: Design Review: Historic Design Preservation: Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code (TCOC).

LOCATION: The project site is located at 18255 Smoke Street, approximately 60 feet northwest of the intersection of Main Street and Smoke Street in the community of Jamestown. Within a portion of Sections 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian. The project site is located within Supervisorial District 5. Assessor's Parcel Number (APN): 003-111-011.

GENERAL PLAN: The project site is designated Mixed Use (MU) by the Tuolumne County General Plan land use diagrams. The proposed project may be found to be consistent with the General Plan.

ENVIRONMENTAL EVALUATION

After reviewing the project and its setting, the Environmental Coordinator for the County of Tuolumne has determined that the project is exempt from review under the California Environmental Quality Act (CEQA) pursuant to Section 15303(e) of the *State CEQA Guidelines*. The project consists of the construction of an accessory canopy structure for outdoor seating. None of the exceptions to the use of a categorical exemption found in Section 15300.2 of the *State CEQA Guidelines* apply to this project.

RECOMMENDATION

1. Community Development Department Staff recommends approval of Historic Conditional Use Permit CUPH22-002 based upon the following findings 1A through 1F:
 - A. The proposed development is consistent with the Tuolumne County General Plan.
 - B. The proposed development is in accordance with the Tuolumne County Ordinance Code.
 - C. The proposed project will not overburden existing municipal facilities.
 - D. The size and terrain of the project site are suitable for the proposed use.
 - E. The proposed development will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.
 - F. No further environmental review is required for the project under the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (e) of the *State CEQA Guidelines*.

GENERAL INFORMATION

Site Description

1. The project site is located at 18255 Smoke Street in Jamestown, approximately 60 feet north of the intersection of Smoke Street and Main Street. The parcel is currently developed with The Service Station restaurant and bar. The patio structure fronts Smoke Street at the rear of the parcel, and the restaurant portion fronts Main Street. The elevation on site is 1,420 feet above sea level. Slopes range from 0-1% on site. The attached agenda map (attachment #1) which identifies the surrounding parcels in relation to the project site. Rocca Park is located to the southwest of the project site, on the opposite side of Smoke Street.

Project Description

2. Historic Conditional Use Permit CUPH22-002 is to bring an existing metal canopy structure into compliance with Chapter 17.45 of the TCOC. The canopy structure originally consisted of a portable shade sail mounted on metal posts and framework, which was removed and replaced with a metal roof canopy mounted on the same posts and framework. The site plans identify that the canopy is 15 feet high and covers approximately 1,040 square feet of patio area, at the rear of the lot. The canopy consists of a galvanized color consistent with the existing fencing. The existing steel posts and beams are finished in a patina rust color. The metal gutter is brown in color and matches the existing color of the main building structure. Pictures of the structure can be found in attachment #4.

General Plan

3. The project site contains the Mixed Use (MU) General Plan land use designation. The purpose of the MU designation is to provide for a mixture of residential, commercial, and recreational facilities in an urban setting. This designation is applied within urban areas where a mixture of these uses is desirable near transportation corridors, downtowns, defined community centers, major commercial centers, schools, and community services. The existing restaurant, The Service Station, is a compatible use in the MU General Plan land use designation.

Jamestown Community Plan

4. The project site is within the area that is subject to the Jamestown Community Plan found in Volume III of the 2018 Tuolumne County General Plan. The proposed project is consistent with the following Goals, Policies, and Implementation Programs of the Jamestown Community Plan.

Policy JT-A.3

Require new development within the Design Review Combining District and encourage new development within the Historic Design Preservation Combining District to be compatible with the Jamestown Design Guidelines in order to preserve the historic character of Jamestown.

Implementation Program JT-A.d

Continue to maintain a design guide for new development and alterations of existing buildings or structures that reflects the historic charm of Jamestown.

The project CUPH22-002 is being reviewed for consistency with the Jamestown Design Guidelines. The metal canopy is an accessory structure to the primary use, the Service Station restaurant. A full description of the structure can be found in the Jamestown Design Guidelines section of this report.

Ordinance Code

5. The project site is currently zoned C-1:D:HDP:MX (General Commercial: Design Control Combining: Historic Design Preservation Combining: Mobilehome Exclusion Combining) under Title 17 of the TCOC. Historic Conditional Use Permit CUPH22-002 is to review an existing metal canopy structure for compliance with Section 17.45.080 of the Tuolumne County Ordinance Code (TCOC).
6. Table 1 below has been linked to all respective Title 17 chapters of the TCOC to identify their purpose and provide relevant information:

Table 1:

Zoning	TCOC Section	Link
C-1	17.34	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/438/Chapter-1734--General-Commercial-District-or-C-1-District?bidId=
D	17.46	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/449/Chapter-1746--Design-Review-Combining-District-or-D-District?bidId=
HDP	17.45	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/448/Chapter-1745--Historic-Design-Preservation-Combining-District-or-HDP-Combining-District?bidId=
MX	17.48	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/450/Chapter-1748--Mobile-Home-Exclusion-Combining-District-or-MX-District?bidId=

C-1 = General Commercial

D = Design Review

MX = Mobilehome Exclusion

HDP = Historic Design Preservation

7. A restaurant is a permitted use in the C-1 zoning district. A canopy structure would be considered an accessory to a permitted use. Furthermore, the structure is being utilized for outdoor seating which is a permitted use pursuant to Section 17.30.020 (BB).
8. Section 17.45.060 of the Tuolumne County Ordinance Code (TCOC) states that no structure, building, object, or site in a historic design preservation (HDP) combining district may be constructed or altered in exterior appearance without first obtaining a use permit, unless specifically exempted. The proposed project does not qualify for an exemption from the need to obtain a historic Conditional Use Permit, because the proposed project involves a change to the appearance of the exterior of the structure. However, there is no actual physical exterior change to the primary structure.
9. Pursuant to Section 17.45.080 of the TCOC, the decision-making body (HPRC) shall consider the priority of the resource according to Tables 14.06(B) and 14.06(C) of this Code (attachment #5), and the following shall be considered:
 - A. The siting of the cultural resource upon the property as compared to the siting of other cultural resources in the immediate neighborhood.
 - B. All new construction and modifications to cultural resources shall be proportional and harmonious with the historic character of the area; shall make appropriate and fitting use of materials; shall have colors in good taste and never harsh or garish, but in harmony with themselves and their environment.

- C. Landscaping shall be required on the parcel in keeping with the character or design of neighboring buildings, and existing mature trees and shrubs shall be preserved whenever possible and practicable.
 - D. The size, location and arrangements of onsite parking and paved areas and their lighting.
 - E. Ingress, egress and internal traffic circulation.
 - F. Original appearance of the cultural resource.
 - G. All of the above factors shall be related to the setting or established character of the surroundings.
 - H. Rehabilitations, alterations, additions, or other modifications to the exterior of resources within the HDP district should comply with the Secretary of the Interior's Standards. A project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings shall be considered exempt from review under the California Environmental Quality Act pursuant to Section 15331, Class 31, of the State CEQA Guidelines.
 - I. When reviewing use permits pursuant to Section 17.45.060, the Historic Preservation Review Commission shall consider the effects of proposed alterations to cultural resources, proposed in response to local, state and federal disability access regulations and guidelines, on the significance of cultural resources.
10. Per staff's determination, Historic Conditional Use Permit CUPH22-002 would fall under Priority #4 of Table 14.06(A) for the (construction, alteration or rehabilitation) of the exterior appearance of a historic resource. There is no physical activity occurring on the primary structure which is the structure as indicated in the attached DPR form (attachment #2). Determination based on Table 14.06(C) is not applicable to CUPH22-002.

Jamestown Design Guidelines

11. The Jamestown Design Guidelines can be found at this link:
- <https://www.tuolumnecounty.ca.gov/DocumentCenter/View/2335/Jamestown-Design-Guidelines?bidId=>
12. The project site contains the (:D) Combining zoning district and is therefore subject to the Jamestown Design Guidelines, even though a specific design review permit is not required. The project has been reviewed for consistency with the Jamestown Design Guidelines and staff has determined that the development is consistent with the design guidelines. Specifically, the following design criteria from the Jamestown Design Guidelines have been incorporated into the modified building:
- The buildings in Jamestown have gabled, hip, or flat roofs.
 - The color of the canopy structure is consistent with the color palettes already established by adjacent buildings.

Cultural Resources

13. The Tuolumne County Database of Cultural Resources has been reviewed to determine the presence of known cultural resources on the project site. The Database revealed that a cultural resource is known to exist on the project site. The existing structure was evaluated and included in the *Historical Resources*

Inventory, Jamestown; Tuolumne County California in December 2008 and notes this parcel, DPR 523, Record #JS-30. CUPH22-002 is for the review of an accessory canopy structure that is not physically impacting the primary structure. Therefore, a cultural resource study was not required for this project pursuant to Section 14.10.070 of the Tuolumne County Ordinance Code. Historic Conditional Use Permit CUPH22-002 will include a condition to address the possibility of subsurface cultural resources being discovered during any future development of the site as required by Section 14.10.150 of the Ordinance Code.

Adjoiner Comments

14. Property owners within 300 feet of the project site were notified of the project via mail on August 19, 2022. A total of 40 property owners were notified. The CDD did not receive any public feedback from the adjoining properties.

Public Agency Review

15. The subject application was circulated to various State and County agencies. The agencies and departments listed below provided responses and conditions that would apply to the project.

Building and Safety Division

The Building and Safety Division of CDD reviewed CUPH22-002 and provided conditions of approval that have been incorporated into the project.

Jamestown Sanitary District

Jamestown Sanitary District provided a response and indicated that the structure could not encroach within the sewer mainline Public Utility Easement (P.U.E).

Historic Conditional Use Permit Findings

16. Community Development Department Staff recommend approval of Historic Conditional Use Permit CUPH21-002 based upon the following findings and subject to Conditions 1 through 6:
 - A. The proposed development is consistent with the Tuolumne County General Plan.
 - B. The proposed development is in accordance with the Tuolumne County Ordinance Code.
 - C. The proposed project will not overburden existing municipal facilities.
 - D. The size and terrain of the project site are suitable for the proposed use.
 - E. The proposed development will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.
 - F. No further environmental review is required for the project under the California Environmental Quality Act (CEQA) pursuant to Sections 15303(e) of the *State CEQA Guidelines*.

PREPARED BY: Cheydi Gonzales, Land Use Coordinator

Property Owner: John Gray

Applicant Information:

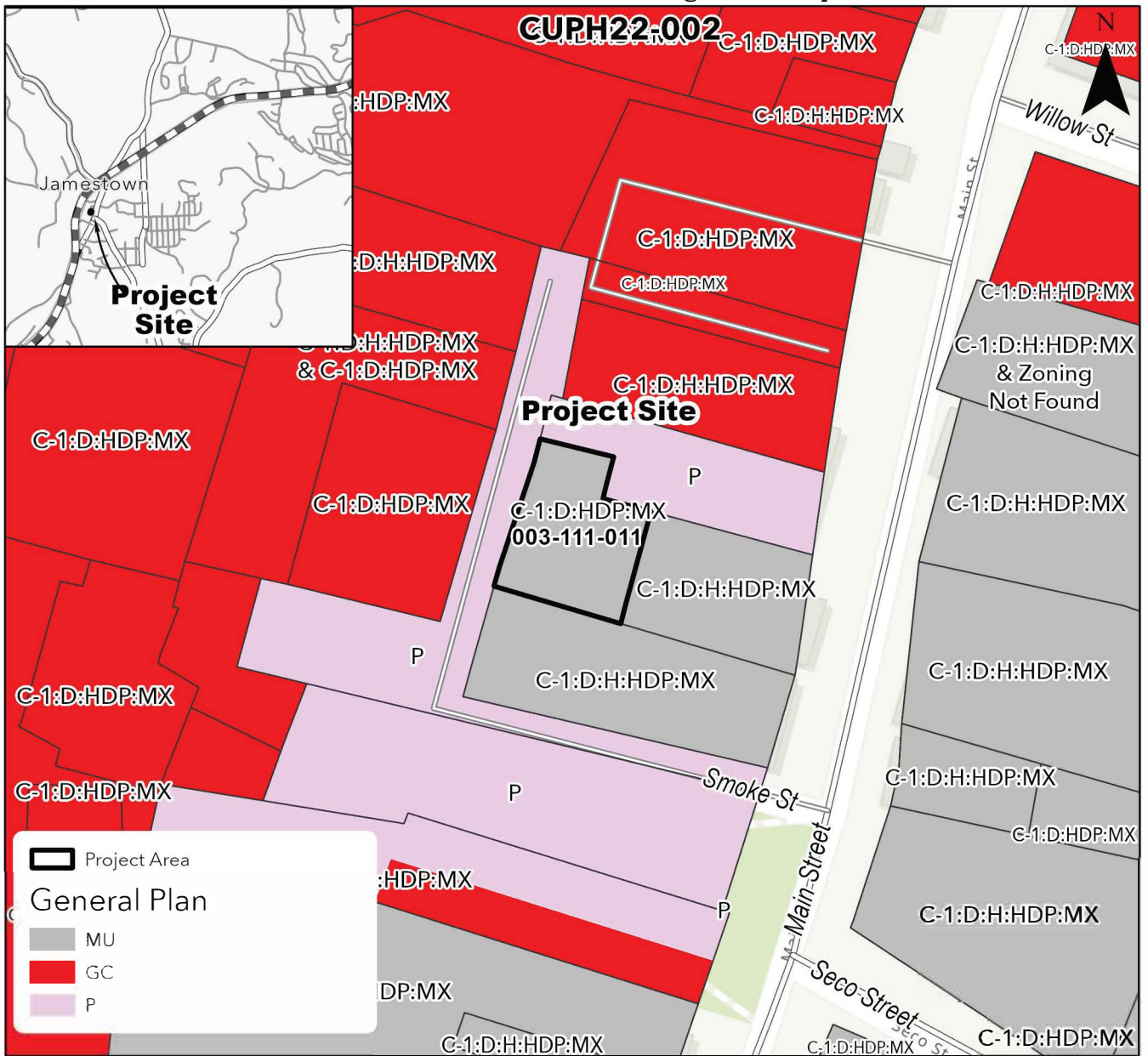
Reuben Chirnside, Project Engineer
Land and Structure
105 South Stewart Street
Sonora, CA. 95370
209-532-5173

List of Attachments:

Attachment #1: Agenda Map
Attachment #2: Recorded DPR Form
Attachment #3: Site Plan
Attachment #4: Photos of structure
Attachment #5: Tables 14.06(B) and 14.06(C) of the TCOC
Attachment #6: Conditions of Approval for CHPH22-002
Attachment #7: Comment letters

S:\Planning\PROJECTS\Conditional Use Permit Historic\2022\CUPH22-002 (Boone - The Service Station)\Application Review\Agenda Report (Boone-The Service Station) .doc

ATTACHMENT #1: Agenda Map



Project: CUPH22-002

Owner: John Gray

Applicant: Reuben Chrinside - Land & Structure

APN: 003-111-011

Acres: ± 0.08 acres

Current Zoning: C-1:D:HDP:MX

Current General Plan Designation: MU

Project Description: Historic Conditional Use Permit CUPH22-002 to allow a 26 x 40-foot metal shade canopy on The Service Station's back patio. The project site is a 3,405± square foot parcel zoned C-1:D:HDP:MX

(General Commercial: Design Review: Historic Design Preservation: Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code (TCOC).

State of California—The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P-55-005479
HRI # _____
Trinomial _____
NRHP Status Code 5S2
Review Code _____ Reviewer _____ Date _____

Page 1 of 5*Resource Name or #: (Assigned by recorder) 18242 Main Street; JS-30P1. Other Identifier: J.B. Shore Building (#43 in 1983 survey)*P2. Location: ☐ Not for Publication ☒ Unrestricted*a. County Tuolumne

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Sonora, Calif. Date 1987 T 1N R 14E, NW ¼ of SE ¼ of Sec. 10; MDBMc. Address 18242 Main Street City Jamestown Zip 95327d. UTM: (Give more than one for large and/or linear resources) Zone 10 _____ mE/ _____ mNe. Other Locational Data: e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 003-111-12 (Lots 18-19, Bl. 3)

a. Description: Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries).

This is a one-story brick commercial building with a rectangular mass and frame additions to the rear elevation. The building has a low-pitched front gable roof and a frame false front with a projecting cornice. A full-width shed-roofed porch, supported by square wood posts, projects over the sidewalk. The false front and porch are recent alterations to the building and may reflect its original appearance. In 1983 the building had a pyramidal gable capped with Mission tiles and a flat canopy over the sidewalk. Windows on the side elevations are of arched brick, bricked up in 1983, and the walls are tied together with metal tie rods. The primary façade now features two storefronts, each with glass and panel doors flanked by storefront windows and kick-plates with recessed panels.

*P3b. Resource Attributes: (List attributes and codes) HP6, One story commercial building*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View southwest,
5 May 2008, IMG-2924

*P6. Date Constructed/Age and

Sources: ☒ Historic☐ Prehistoric ☐ Both1898; Assessor's rolls

*P7. Owner and Address:

Jack Gardella, Jr., Tr, and
Tricia Gardella, Tr
8931 Montezuma Street
Jamestown, CA 95327

*P8. Recorded by: (Name, affiliation, address)

Judith Marvin, Terry Brejla
Foothill Resources, Ltd.
P.O. Box 2040
Murphys, CA 95247

*P9. Date Recorded: 5 May 2008*P10. Survey Type (Describe):
Reconnaissance survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historic Resources Survey, Inventory, and Evaluation of Jamestown, Tuolumne County, California. Judith Marvin and Terry L. Brejla. Submitted to the County of Tuolumne by Foothill Resources, Ltd., 2008.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☒ Other (List) 1983 Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

*NRHP Status Code 3D

*Resource Name or # (Assigned by recorder) 18242 Main Street; JS-30

B1. Historic Name: J.B. Shore's Building

B2. Common Name:

B3. Original Use: Commercial, Saloon

B4. Present Use: Commercial

*B5. Architectural Style: False-front Commercial

*B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed 1898, remodeled in 1920s with stucco facade and pyramidal parapet, recently remodeled to approximate its original appearance

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Commercial development

Area Jamestown

Period of Significance 1898-1930s Property Type Commercial Applicable Criteria A and C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Jamestown's history reflects in microcosm the state's history beginning with the Gold Rush. Discovered in August 1848, the Woods Creek placers at Jamestown eventually yielded millions of dollars in gold. When the easily mined gold gave out, the town remained a trade and supply depot for mining higher in the foothills, with a prime location on the roads from the Central Valley, and agriculture flourished beginning in the 1860s with the aid of the ditches constructed to bring the water from the mountains. The "Second Gold Rush" of the 1890s-1910s, the result of advancements in technology and the infusion of foreign capital, granted new life to the town, surrounded as it was by the Mother Lode itself. But it was the coming of the Sierra Railway in 1897 that cemented Jamestown's status. The railroad transported the bounty of Tuolumne County's natural resources, including minerals, cattle, produce, and in particular lumber, to the waiting markets in California and across the country. The railroad also facilitated the dam construction projects of the 1910s-1940s and brought film crews to the area, providing another relatively stable source of income. When a wave of nostalgia began in the 1930s for California's real and imagined romantic past, Jamestown was ideally situated to capitalize on it, and continues to be a destination for tourists seeking the "real" Mother Lode of California's past. The building is recommended as eligible for the National and California registers as a contributor to the Jamestown Historic District under Criteria A and C. Under Criterion A, the building is associated with the commercial development of Jamestown in the late 1890s when the advent of the railroad and the reopening of the mines provided economic prosperity. Under Criterion C, although dramatically altered in recent years, its rehabilitation approximates its original appearance and it provides a sense of historical association and feeling to the streetscape. It does not appear eligible under Criteria B or D.

B11. Additional Resource Attributes: (List attributes and codes)

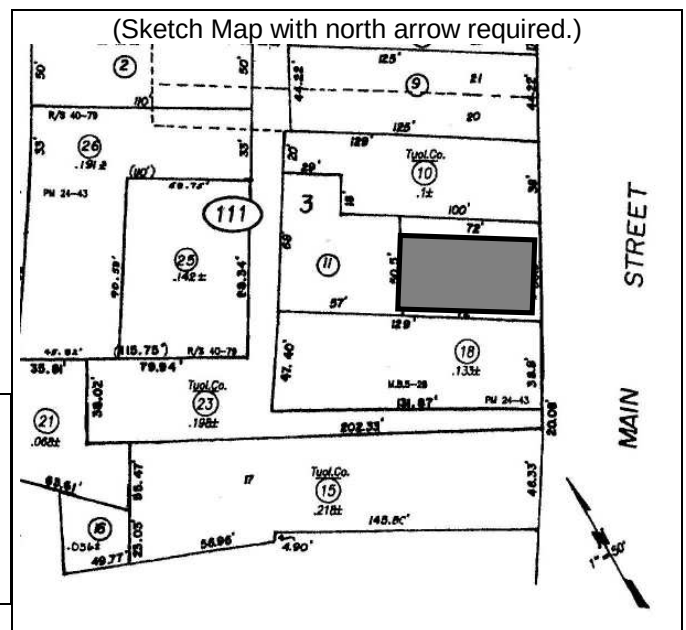
*B12. References:

B13. Remarks:

*B14. Evaluator: Judith Marvin, Terry Brejla
Foothill Resources, Ltd., P.O. Box 2040, Murphys, CA
95247

*Date of Evaluation: 21 September 2008

(This space reserved for official comments)



LOCATION MAP

Primary # P-55-005479

HRI #

Trinomial

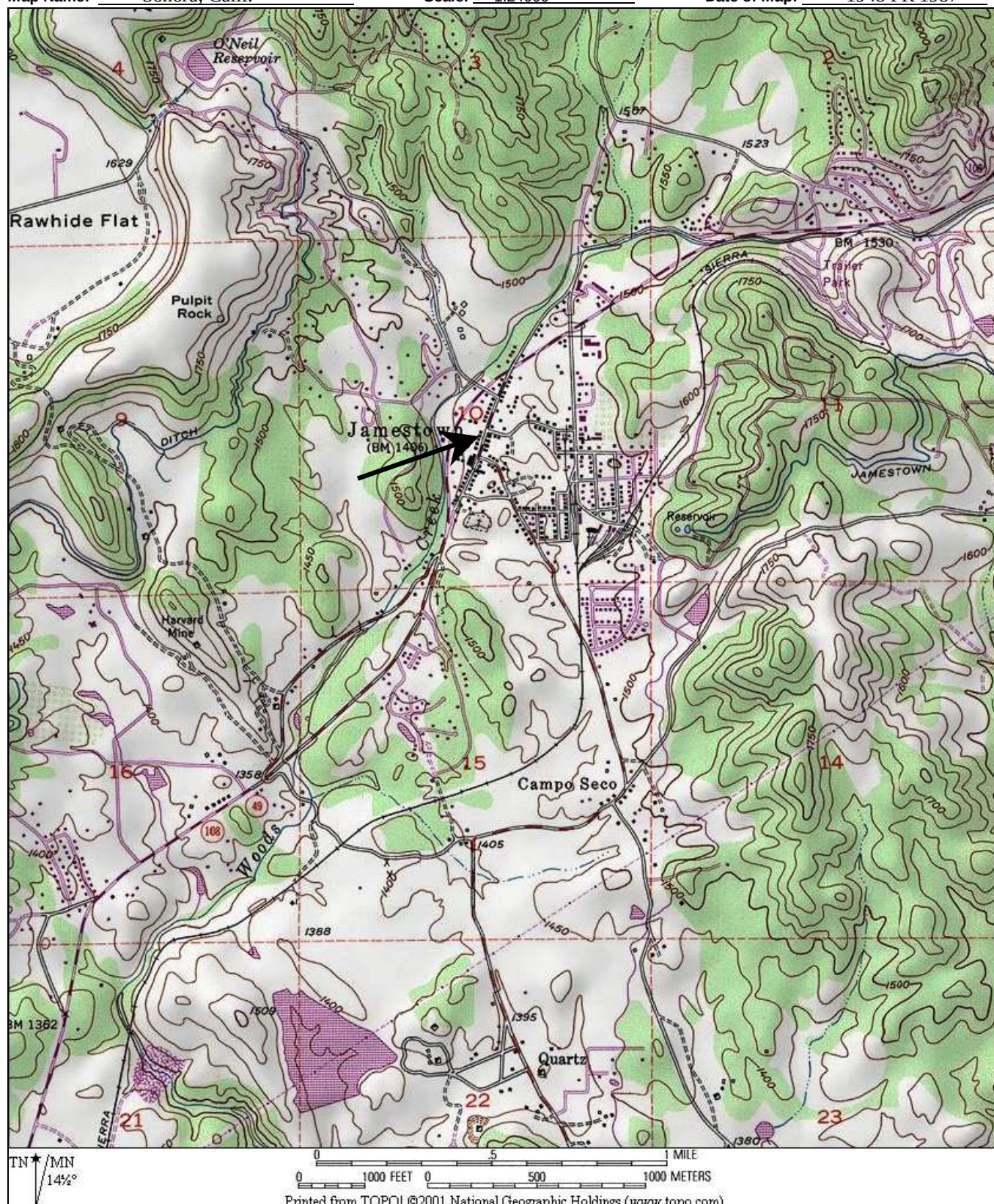
Page 3 of 5

*Resource Name or # (Assigned by recorder) 18242 Main Street; JS-30

*Map Name: Sonora, Calif.

Scale: 1:24000

Date of Map: 1948 PR 1987



#43

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

Ser. No. _____
 HABS _____ HAER _____ NR 3D SHL _____ Loc _____
 UTM: A 10/7-63-0/4203640
 C _____ D _____

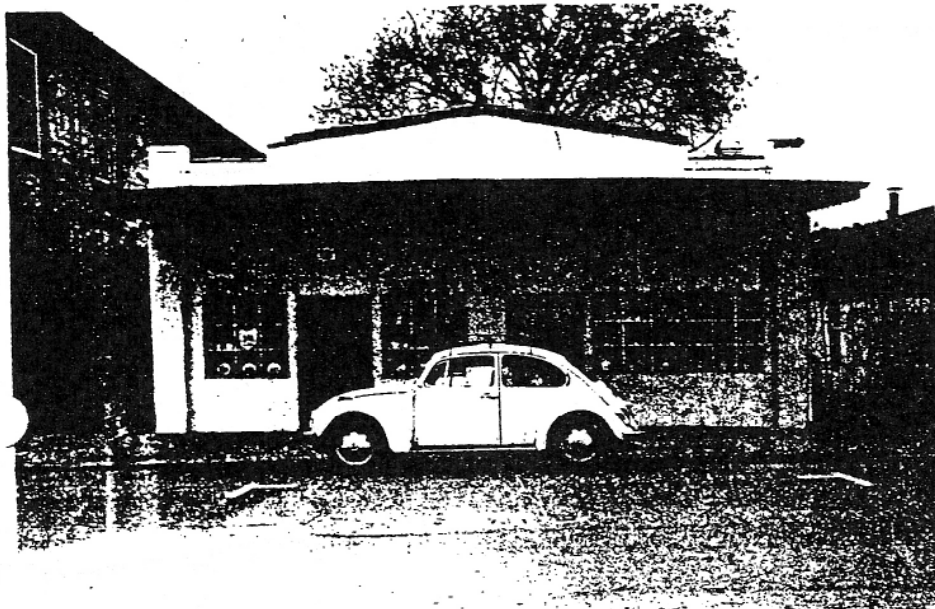
IDENTIFICATION

1. Common name: Pullman Palace #43
2. Historic name: J. B. Shore's Building
3. Street or rural address: 18242 Main Street
- City Jamestown Zip 95327 County Tuolumne
4. Parcel number: Block 111 Lot 12 (3-18, 19)
5. Present Owner: William and Sharlene Henson Address: P.O. Box 1058
- City Jamestown Zip 95327 Ownership is: Public _____ Private X
6. Present Use: Retail Store Original use: Unknown

DESCRIPTION

- 7a. Architectural style: Western Commercial
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

The building is a single story, square brick building with rear wooden additions. The roof is a gentle gable with parapet sides and a false parapet in front capped with Spanish tiles and featuring a diamond motif. Two stores comprise the ground floor; the north store with a door on its southern edge and the south store with a central entryway. Both doors are flush with the facade and front show windows have been altered. Three original arched windows on the north side have been largely bricked over as has the interior brick chimney. Metal tie bars through the building are evident on the south face. The wooden addition to the rear of the building is present on the 1898 Sanborn map although major changes have been done to the windows, siding, and roof line.



8. Construction date:
Estimated _____ Factual 1898
9. Architect Unknown
10. Builder Unknown
11. Approx. property size (in feet)
Frontage 50' Depth 72'
or approx. acreage _____
12. Date(s) of enclosed photograph(s)
March 1983

13. Condition: Excellent ____ Good X Fair ____ Deteriorated ____ No longer in existence ____
14. Alterations: Front windows, bricked-over windows
15. Surroundings: (Check more than one if necessary) Open land ____ Scattered buildings X Densely built-up ____
Residential ____ Industrial ____ Commercial X Other: ____
16. Threats to site: None known X Private development ____ Zoning ____ Vandalism ____
Public Works project ____ Other: ____
17. Is the structure: On its original site? Yes Moved? ____ Unknown? ____
18. Related features: Rear wooden addition

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

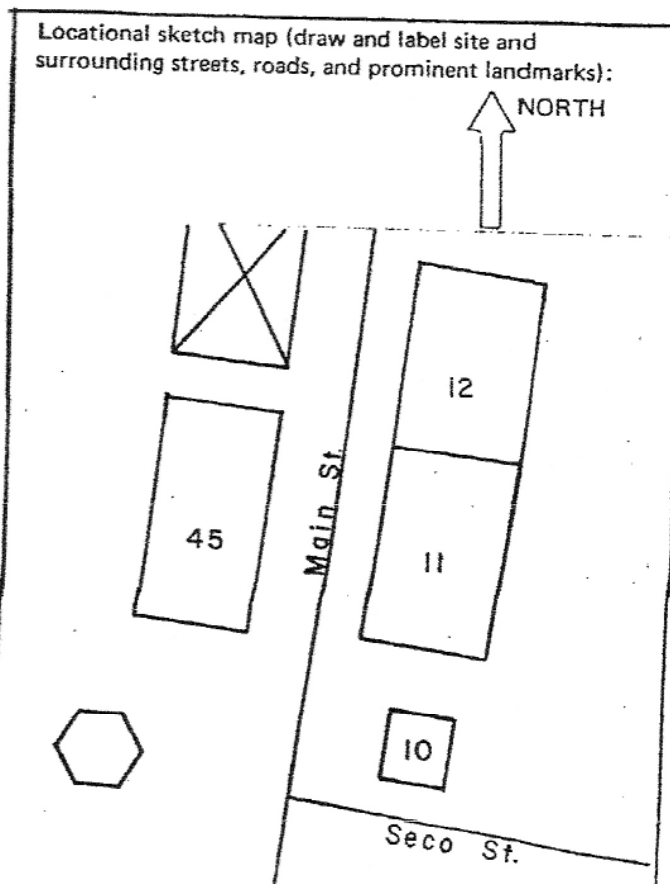
The overall appearance of the building has not changed significantly since its construction. It is one of the oldest buildings on the north end of Main Street and undoubtedly survived the towns' devastating fires by virtue of being brick. Originally a dwelling with rental rooms in wooden additions to the rear, by 1908 it was a commercial building including rooms to rent and a confectionary. The building makes an important visual contribution to the pre 1900 period of Jamestown's history.

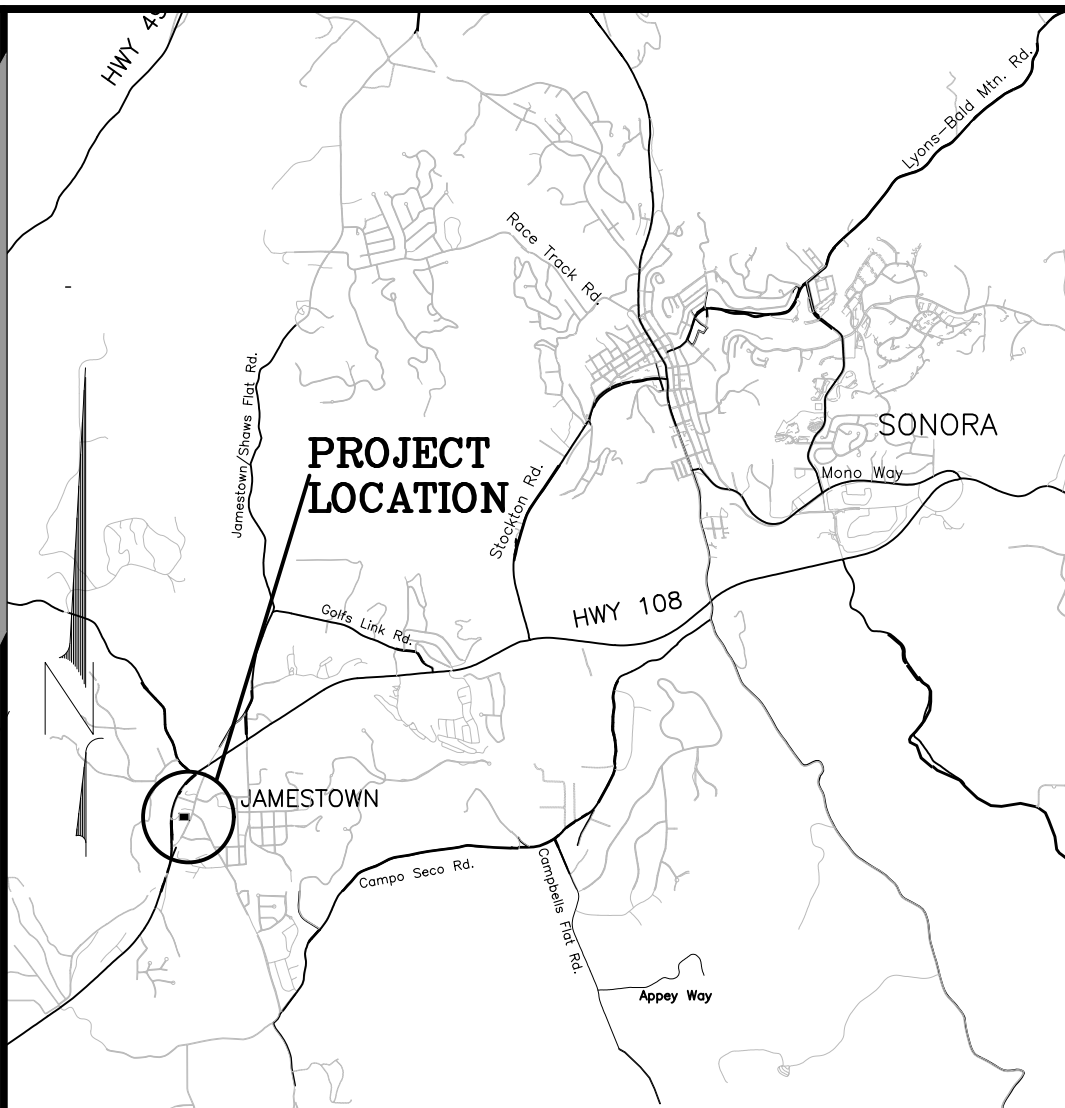
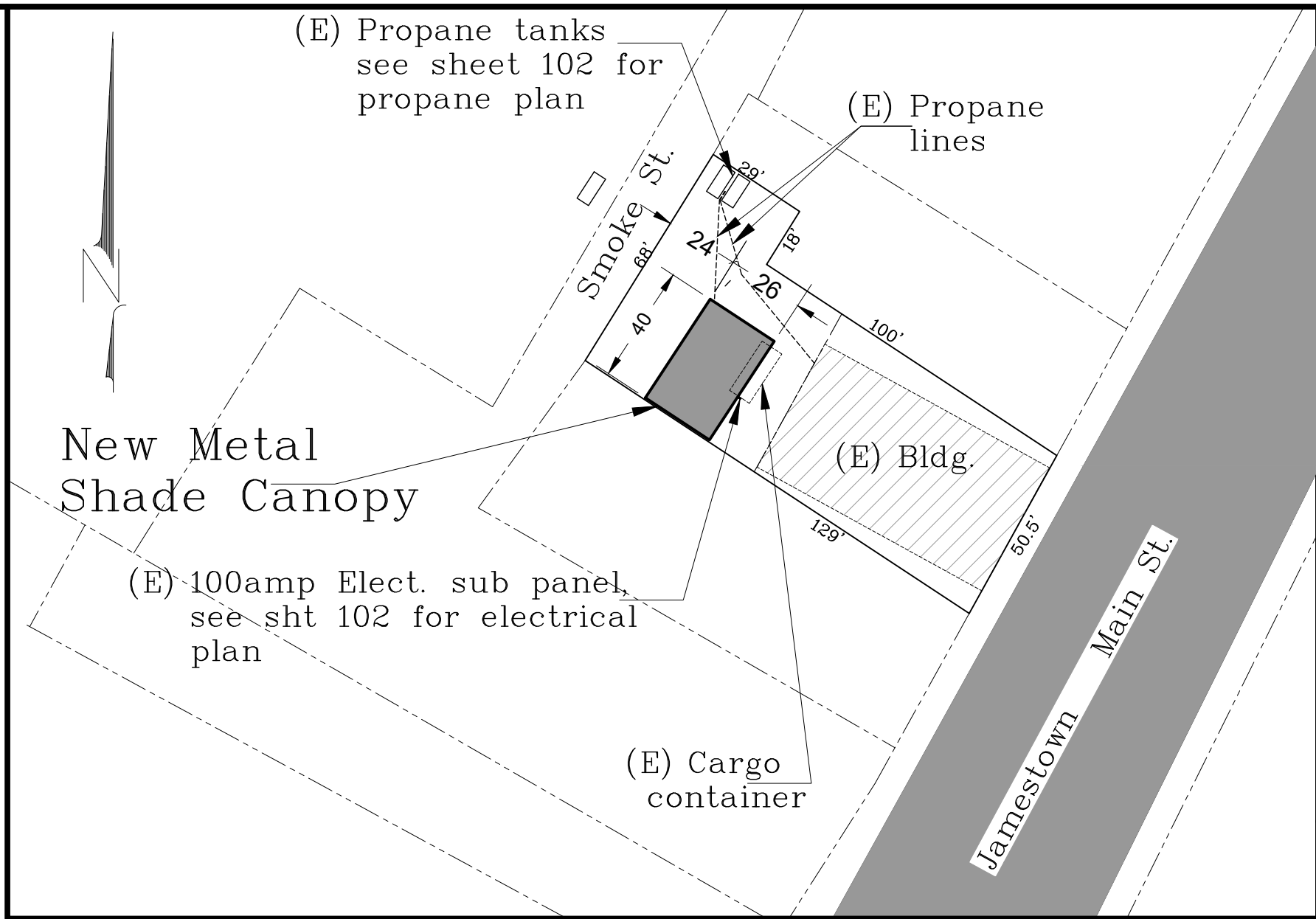
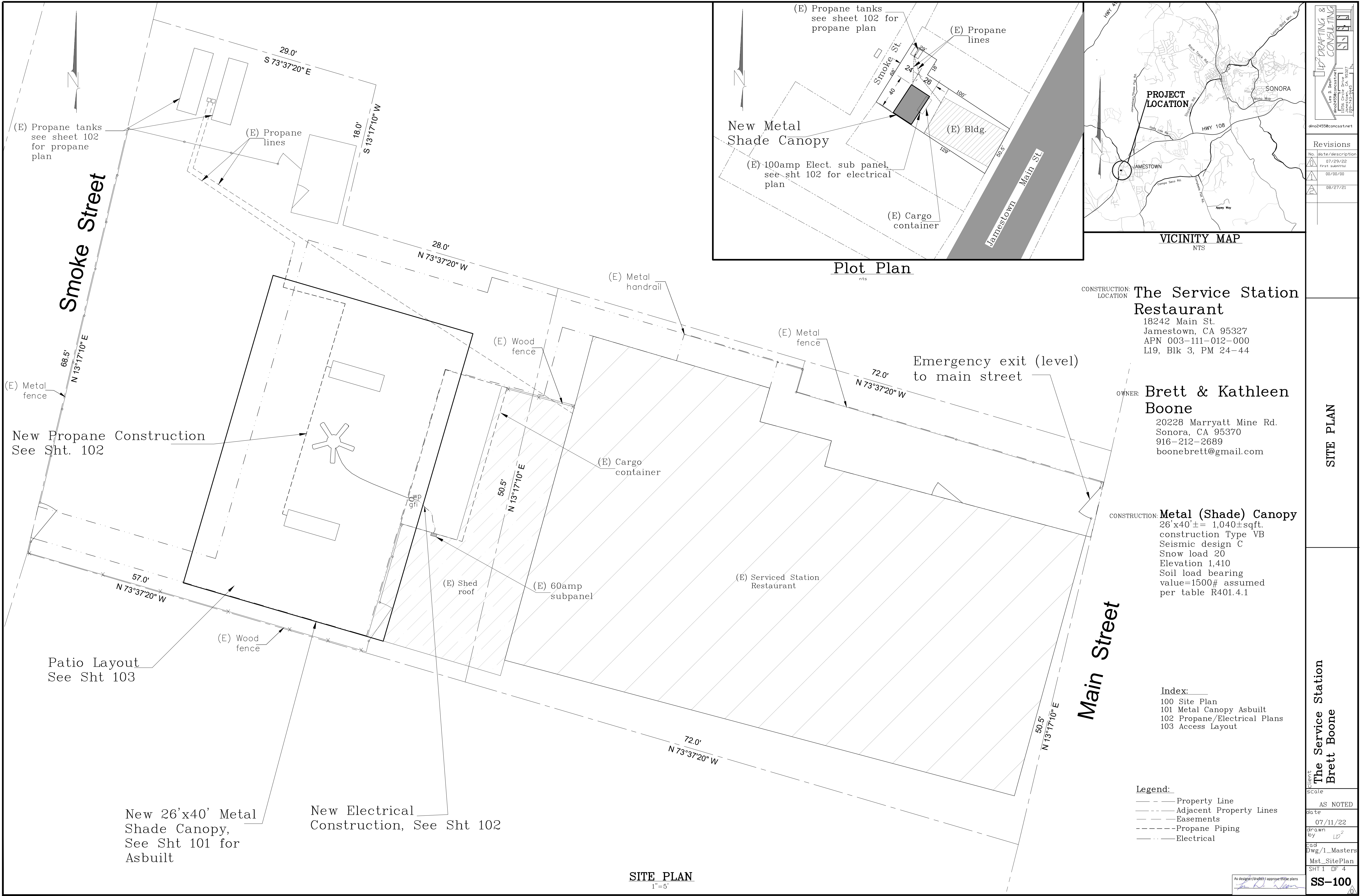
20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
Architecture X Arts & Leisure ____
Economic/Industrial ____ Exploration/Settlement ____
Government ____ Military ____
Religion ____ Social/Education ____

21. Sources (List books, documents, surveys, personal interviews and their dates).

Assessor's Rolls

22. Date form prepared March 1983
By (name) J. Costello/M. Freeman
Organization Jamestown Hist. Site Survey
Address: 20685 Gaughan Ct.
City Soulsbyville Zip 95372
Phone: 209-532-7922





LD ² DRAFTING & CONSULTING Les B. Boone 10255 Canyon Blvd., Suite 100 Jamestown, CA 95327 916-212-2689 info@ld2.com	
Revisions	
No.	Date/Description
1	07/29/22 First Submittal
2	08/02/22
3	08/27/21

CONSTRUCTION: LOCATION
The Service Station Restaurant
18242 Main St.
Jamestown, CA 95327
APN 003-111-012-000
L19, Blk 3, PM 24-44

OWNER: **Brett & Kathleen Boone**
20228 Marryatt Mine Rd.
Sonora, CA 95370
916-212-2689
boonebrett@gmail.com

CONSTRUCTION: **Metal (Shade) Canopy**
26' x 40' ± = 1,040 ± sqft.
construction Type VB
Seismic design C
Snow load 20
Elevation 1,410
Soil load bearing value=1500# assumed per table R401.4.1

Index:
100 Site Plan
101 Metal Canopy Asbuilt
102 Propane/Electrical Plans
103 Access Layout

Legend:
--- Property Line
--- Adjacent Property Lines
--- Easements
--- Propane Piping
--- Electrical

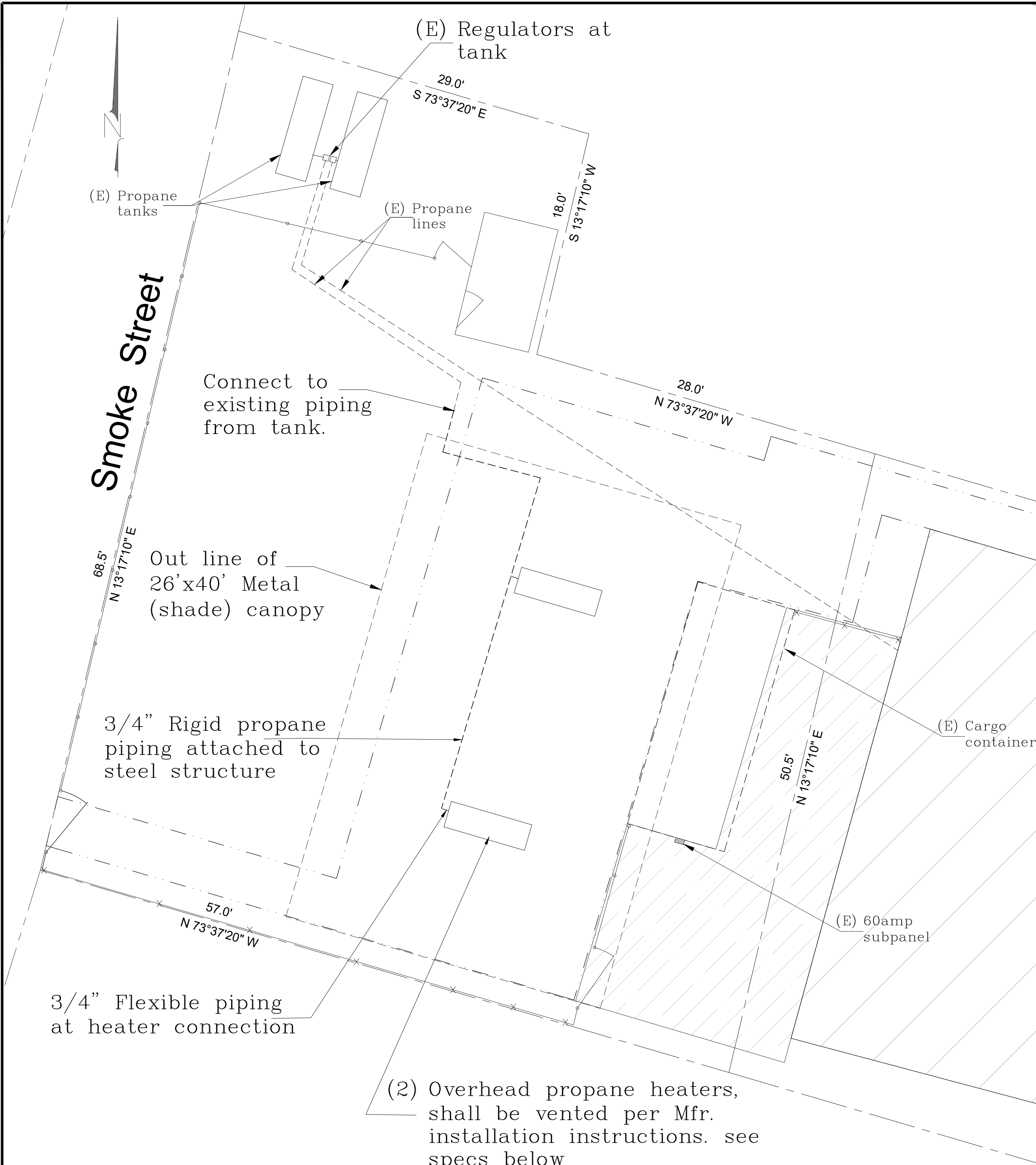
SITE PLAN

The Service Station
Brett Boone

Client: **The Service Station**
Scale: **AS NOTED**
Date: **07/11/22**
Drawn by: **LD²**
Ead: **Dwg/1_Masters**
Mst_SitePlan
SHT 1 OF 4

SS-100

SITE PLAN
1"=5'



Print signature Lic # Date

Propane installer approval

PROpane PLAN
1"=5'

Infrared Radiant Tube Heater. Radiateur à tube rayonnant à infrarouge.

Installation à l'intérieur seulement. Ne pas installer dans un logement.

For indoor installation only. Not for use in residential dwellings.

Verted or Unvented, Aired or not Aired.

Fan type vented wall furnace. Radiateur mural à circulation forcée.

For direct discharge without duct connection. Pour sortie d'échappement direct sans gain de distribution.

No. de Modèle: SIRAS-L7A

Altitude: 0-2000FT

Gas Type: Propane

Category III

Supply Pressure: 14" W.C. MINIMUM, 11" W.C. MAXIMUM

Max Angle: 45

ORIFICE SIZE: 5/64"

INPUT Btu/Hr: 45000

MANIFOLD PRESSURE: 10" W.C.

ELECTRICAL: 120V 2.6A 60Hz 1ph

SunStar Heating Products Inc. Charlotte, NC

Tel: 1888 778 6765 e-mail: info@sunstarheaters.com

SERIAL NO: 1293438

No. de Série: 12021

CODE DATE: 5/64"

DESIGN CERTIFIED

CERTIFIED

INSTRUCTIONS D'ALLUMAGE ET DE FERMETURE

1. mettre la valve à gaz et l'interrupteur à "ON".

2. Créer une demande de chauffage au thermostat.

3. L'allumage devrait se produire après de préchauffage.

4. Si l'allumage ne se fait pas, le contrôle d'allumage continu de produire des étincelles sur une période de 21 sec. et ensuite tomber en sécurité. Mettre le thermostat (ou le courant) en position d'arrêt (OFF) pour une période de 50 sec. à fin d'interrompre le processus de sécurité.

5. Si l'appareil ne s'allume pas, terminez le gaz complètement pour une période de 5 min. avant d'effectuer une nouvelle tentative d'allumage.

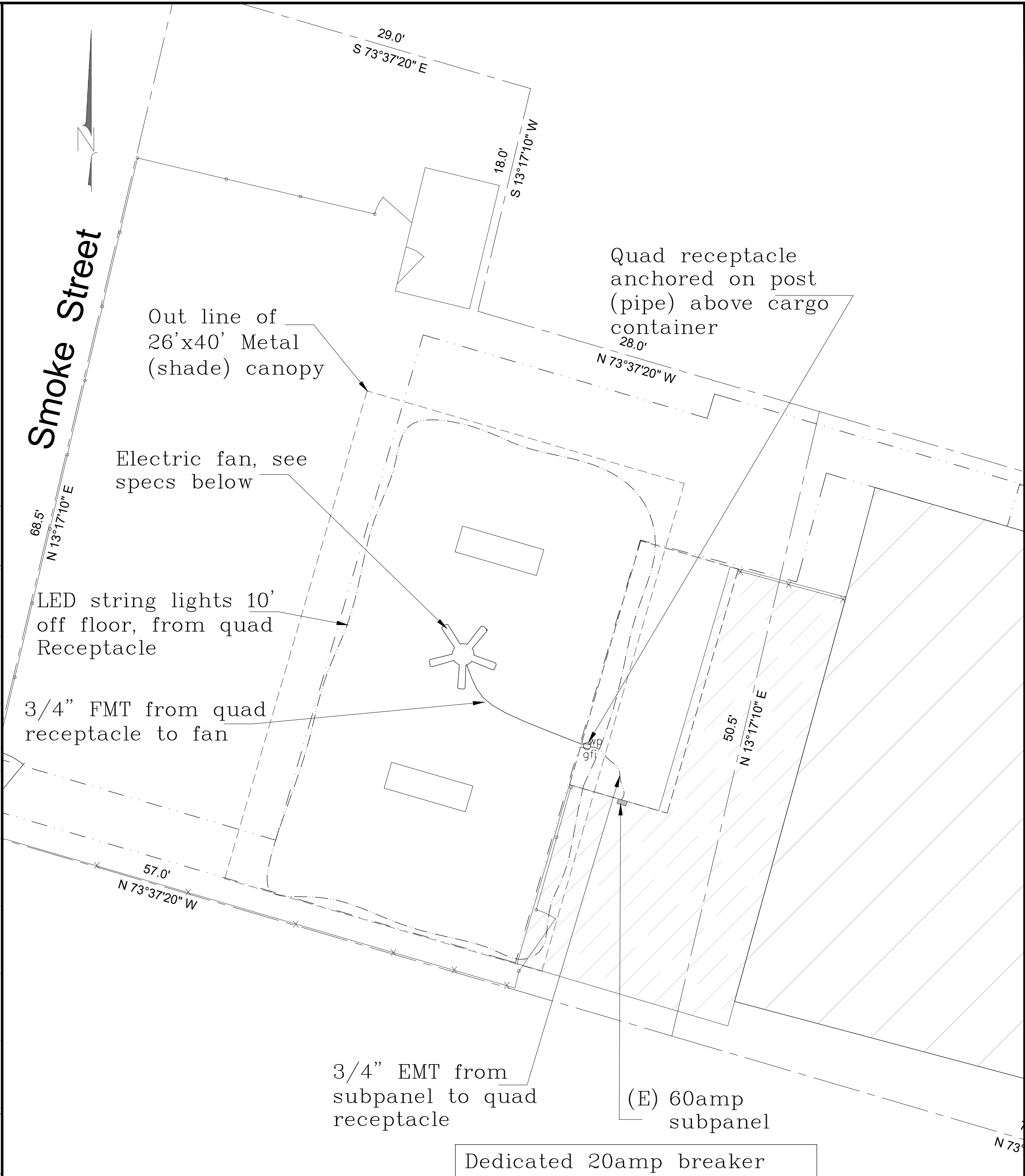
6. Pour fermer l'appareil, fermez le gaz et le courant électrique.

Installation in:

1. Aircraft hangars must be in accordance with the standard for Aircraft hangars. ANSHP 196-403 (latest edition).

2. Public garages must be in accordance with the standard for parking structures. ANSI 108.1A (latest edition), or with the standard for open garages. ICC/IBC 103 (latest edition). 4248489 420919

ANSI Z83.20 2016/ CSA 2.24 2016 AGA 7.59



Essence®

READ AND SAVE THESE INSTRUCTIONS

LIRE ET CONSERVER CES INSTRUCTIONS

Operating Instructions and Maintenance:

Instrucciones d'uso y mantenimiento:

bigassfans.com/support

Input Power and Required Breaker

Alimentación y calibre del disyuntor / Potencia de entrada y disyuntor requerido

Full Load Amps

Intensidad máxima / 1. Amperaje a plena carga

110-125 V ~, 50/60 Hz, 1 Ø, 10 A

6.0 A

200-240 V ~, 50/60 Hz, 1 Ø, 10 A

3.6 A

Print signature Lic # Date

Electrical installer approval

ELECTRICAL PLAN
1"=5'

As designed/drafted / approved this plans

42° DRAFTING & CONSULTING

Les B. Boone

10255 Constance Rd., Suite 100

Charlotte, NC 28217

704-743-7443

dino24558concast.net

No.	Date / Description
07/29/22	First substantial
08/02/22	
08/27/21	

PROpane & ELECTRICAL PLANS

The Service Station

Brett Boone

Client Scale

AS NOTED

07/24/22

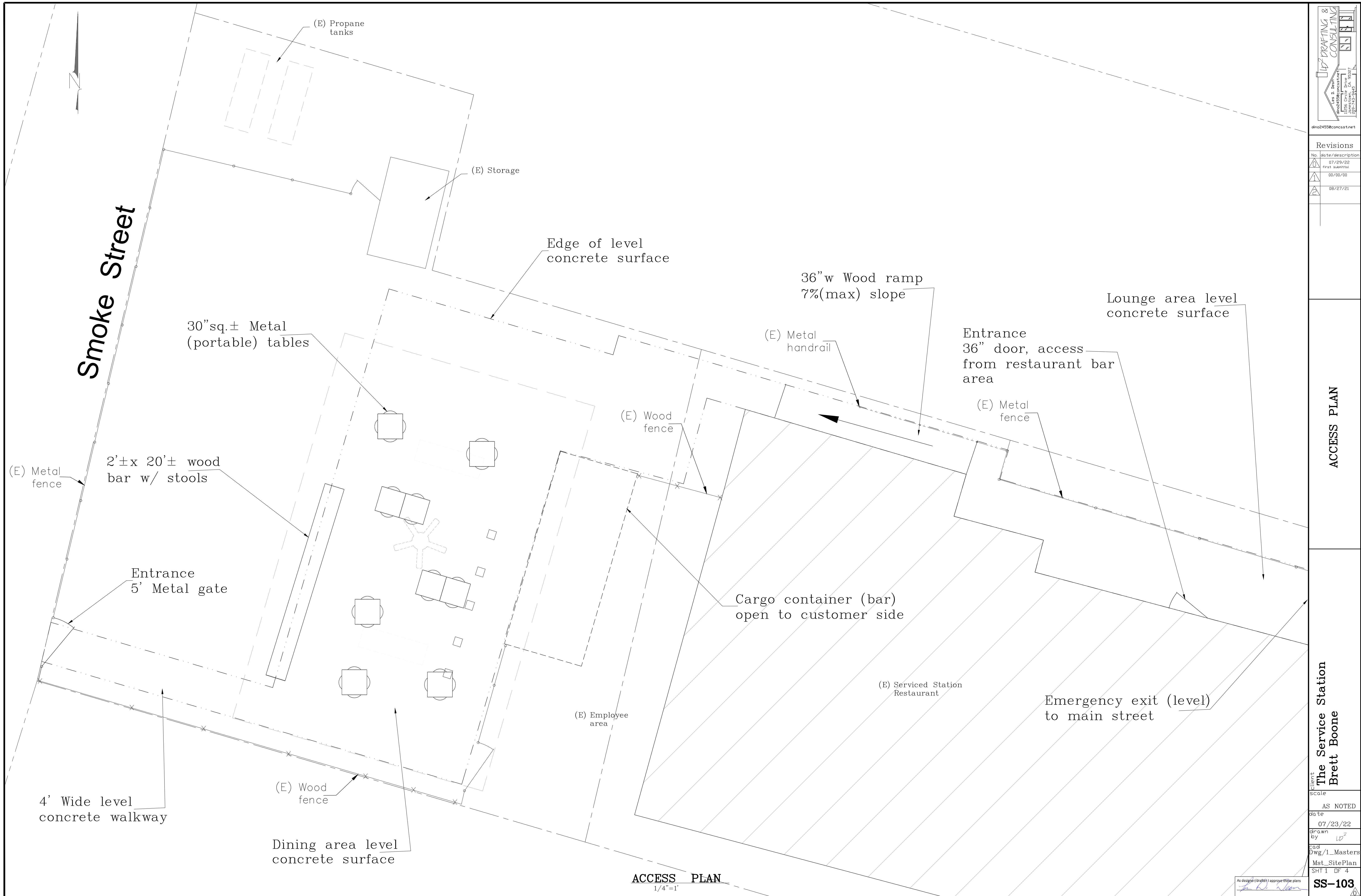
drawn by LB

Dwg/1_Masters

Mst_SitePlan

SHT 3 OF 4

SS-102



LD² DRAFTING & CONSULTING

Les B. Deen
dino24558concast.net
1025 Dorce Rd., Suite 100
P.O. Box 100
027-743-3443

Revisions	
No.	Date/Description
1	07/23/22 First submittal
2	08/02/22
3	08/27/21

ACCESS PLAN

The Service Station
Brett Boone

Client	AS NOTED
Scale	07/23/22
Date	LD ²
Drawn by	Dwg/1_Masters
Sheet	Mst_SitePlan
Sheet 1 of 4	SS-103

ACCESS PLAN
1/4"=1'

ATTACHMENT #4: PHOTOS





TABLE 14.06(B)
DETERMINING CULTURAL RESOURCE PRIORITY DESIGNATIONS
FOR RESOURCES WHICH ALREADY HAVE BEEN
EVALUATED BY A QUALIFIED PROFESSIONAL

PRIORITY DESIGNATION	CRITERIA FOR ASSIGNING CULTURAL RESOURCE PRIORITY DESIGNATIONS
Priority 1	A resource listed on the National Register of Historic Places (National Register of Historic Places designation of 1)
Priority 2	A resource: 1. Determined to be eligible for or potentially eligible for listing on the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 2, 3, or 4; or 2. Listed on or officially designated as eligible for the California Register of Historical Resources; or 3. Listed on the Tuolumne County Register of Cultural Resources; or 4. A resource listed as a contributing resource in a cultural resource inventory within an existing HDP zone or which is eligible to be included within an HDP zone.
Priority 3	A resource determined to be eligible for listing in the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 5.
Priority 4	A resource determined to be ineligible for listing on the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 6; and determined to be ineligible for listing on the California Register of Historical Resources; and determined to be ineligible for listing on the Tuolumne County Register of Cultural Resources.

TABLE 14.06(C) - CRITERIA FOR ESTABLISHING CULTURAL RESOURCES PRIORITY DESIGNATIONS FOR RESOURCES WHICH HAVE NOT PREVIOUSLY BEEN EVALUATED

FACTOR	PRIORITY 1 (See preceding page)	PRIORITY 2 (2 points)	PRIORITY 3 (3 points)	PRIORITY 4 (4 points)	SCORE
INTEGRITY (retention of essential qualities of historic character): ● Location - remains in original location ● Design - accurately reflects original plan or components of the resource as a whole reflect design compatibility; retains much of its original feeling ● Setting - buildings, structures, sites, or objects associated with a later development period have not intruded on surrounding area to extent that original context is lost ● Materials - physical elements present during period(s) of significance remain, or, if replaced, replacements are compatible with period(s) of significance ● Workmanship - original character of construction details remains and have not deteriorated or been disturbed to the extent that their value as examples of craftsmanship have been lost ● Restoration - feasibility of restoring resource, if necessary ● Feeling - resource expresses the historic or aesthetic sense of a particular period of time	Pristine in all 7 integrity categories, almost entirely unmodified from original exterior appearance, original design features peculiar to style still in place	Superior integrity in at least 3 categories, limited modification from its original exterior appearance, capable of being easily restored to near original exterior appearance	Moderate integrity in at least one category, in average or below average physical condition with no more than a moderate level of modification from its original exterior appearance, could be restored with moderate effort to original appearance	Fair to poor integrity in all categories, in poor physical condition, and/or has had major alterations from original appearance, cannot be restored to original appearance without reconstruction of more than half of the resource.	
AGE	140 years old or older	100 years old or older	75 years old or older	50 years old or older	
CONTEXT/ASSOCIATION - Associated with broad themes, persons, events, movements, organizations, or patterns associated with the cultural, social, political, economic, religious, scientific, educational, military, agricultural, engineering, or industrial history important to the county, state, or nation. These associations will often be linked to one of the following six themes: transportation and communication; mining; water; ethnicity and social systems; agriculture; industry, commerce and tourism.	Resource has central association with theme(s)	Resource has a direct association with theme(s)	Resource has an indirect association with theme(s)	Resource has distant association with theme(s)	
DESIGNER - Designed or built by architect, engineer, notable master builder, artist, or other designer who has made an important contribution to the county, state or nation. Emphasizes overall designer contributions rather than the aesthetic merits of the design itself.	Designer who made important contributions to county and to state or nation	Designer who made important contributions to the county	Designer known, nonprofessional associated with single resource	Designer unknown	
ARCHITECTURAL STYLE OR BUILDING TYPE - Associated with a particular architectural style or building type, including the vernacular, important to the county, state, or nation.	Retains all attributes associated with its style or type or is a good example of its style if few survive	Retains most of the attributes associated with its style or type or is remodeled in a recognized style that does not destroy the original style or type	Retains few, but sufficient attributes associated with its style or type	Undecipherable as a style or type or is one of many examples of its style or type	
CONSTRUCTION MATERIALS - Embodies elements demonstrating outstanding attention to design, detail, craftsmanship; or outstanding use of particular structural material--especially the use of indigenous materials, surface, or method of construction or technology.	Outstanding or very early example if few survive (e.g., adobe)	Outstanding or very early example if many survive; good example if few survive	Good example if there are many examples of any material(s) and/or method(s) not generally in current use	Common example of any method(s) and/or material(s)	
TRADITIONAL LIFE WAYS - Traditional LIFE WAYS pertain to the association between a tradition, or cultural pattern, and the cultural resource which recalls the tradition and the age in which the tradition or cultural pattern was practiced.	Resource has a central association with a tradition spanning three or more generations.	Resource has a direct association with a tradition spanning three or more generations.	Resource has a direct association with a tradition spanning two generations or an indirect association with a tradition spanning two or more generations.	Resource has a distant association with a tradition spanning two or more generations.	
CONVEYS IMPORTANT SENSE OF TIME AND PLACE - The resource has prominence which contributes to a historic, visual, or environmental continuity. A typical resident of the area would notice the resource and remember it/them.	An individual resource or a unified urban or rural landscape which defines a period 100 or more years ago.	An individual resource or a unified urban or rural landscape which defines a period 75 or more years ago.	An individual resource or a unified urban or rural landscape which defines a period 50 or more years ago.	An individual resource which does not define a period 50 or more years ago.	
TOTAL SCORE (TOTAL OF INDIVIDUAL SCORES DIVIDED BY 8)					

ATTACHMENT #6: CONDITIONS

CONDITIONS OF APPROVAL The Service Station (Boone) HISTORIC CONDITIONAL USE PERMIT CUPH22-002

General Conditions:

1. LU As a condition of the grant of approval of this Permit, and as a continuing condition of approval of the Permit, developer/permittee/applicant/property owner/subdivider, and the successor in interest shall defend, indemnify, save and hold harmless the County of Tuolumne, its elected and appointed officials, officers, agents, employees and volunteers from any and all claims, actions, proceedings, or liability of any nature whatsoever (including attorney's fees and costs awards) arising out of, or in connection with the County's review or approval of the application or project on which this condition is imposed, or arising out of or in connection with the acts or omissions of the above described person, and his/her/its agents, employees, or contractors, during any work performed in connection with the application or project. With respect to review or approval, this obligation shall also extend to any effort to attack, set aside, void, or annul the approval of the project including any contention the project approval is defective because a county ordinance, resolution, policy, standard, or plan is not in compliance with local, state or federal law. With respect to acts or omissions of the above described person and his/her/its agents, employees, or contractors, the obligation hereunder shall apply regardless of whether the County prepared, supplied, or approved plans, specifications or both. If the defense right is exercised, the County Counsel shall have the absolute right to approve any and all counsel employed to defend the County. To the extent the County uses any of its resources to respond to such claim, action or proceeding, or to assist the defense, the above described person will reimburse County upon demand. Such resources include, but are not limited to, staff time, court costs, County Counsel's time at its regular rate for non-County agencies, or any other direct or indirect cost associated with responding to, or assisting in defense of, the claim, action, or proceedings. For any breach of this obligation the County may, without notice, rescind its approval of the application or project to which this covenant/condition is attached. (TCOC Section 17.68.150)

Conditions to be met prior to the issuance of a Building Permit:

2. LU/BD Building Permits are required for all Non-Exempt structures being constructed on this project site pursuant to Section 105 of the California Building Code. (CBC, Section 105)
3. BD This project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), and Chapters 11A and/or 11B of the California Building Code as applicable. (TCOC, Section 17.68.150)
4. BD Hours of construction on the project site shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction shall be prohibited on Sunday and County holidays. Exceptions to these hours may be authorized by the Community Resources Director. (TCOC, Section 17.68.150)

5. LU The noise levels generated by the project shall be restricted to the following exterior noise limits as measured at the property line.

Zoning Classification of Receiving Property	Noise Level (dB) of Sound Source	
	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
MU, R-3, R-2, R-1, RE-1, RE-2, RE-3, RE-5, RE-10, C-O, C-1, C-S, BP	50 L _{eq} . (1 hour) ¹	45 L _{eq} . (1 hour) ¹

¹L_{eq}. 1 hour refers to the average noise level measured over a one hour period.

6. LU All construction on the site shall adhere to the site plan and exterior elevational drawings approved by Tuolumne County. Any significant deviation from the plans shall require approval of supplemental plans submitted by the property owner. (TCOC, Section 17.68.150)

A Notice of Action shall be recorded for Conditions 1 through 6 to notify all owners of this parcel of the conditions of this entitlement and these responsibilities. Any violations observed by the Community Development Department during regular site inspections or in response to complaints shall be referred to the agency having jurisdiction over the condition for resolution or referred to the Code Compliance Officer for enforcement. (PRC, Section 21081.6; TCOC, Section 17.68.150)

COMMUNITY DEVELOPMENT DEPARTMENT: CONTACT PERSON: Cheydi Gonzales

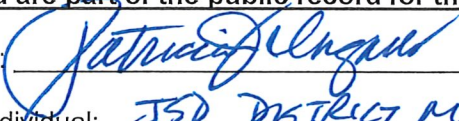
LU = Planning Division	SUR = Surveying Division	EH = Environmental Health Division
ED = Engineering Development	FPD = Fire Prevention Division	SD = Sheriff's Department
BD = Building & Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

ATTACHMENT #7: COMMENTS

AGENCY: JAMESTOWN SANITARY DISTRICT
COMMENTS: JSD CHIEF PLANT OPERATOR WILL CONTACT
BUSINESS OWNER TO CONFIRM METAL SHADE
CANOPY SUPPORT POSTS WILL NOT ENCRUMPT
WITHIN SEWER MAINLINE PUE.

Thank you.

All property owners within 300 feet of the proposed project will be notified of future public hearings. Property owners do not need to request future notification. Please note that all comments that are submitted are part of the public record for the project.

Signed by: 

Agency/Individual: JSD DISTRICT MANAGER Date: 082622

S:\Planning\PROJECTS\Conditional Use Permit Historic\2022\CUPH22-002 (Boone - The Service Station)\Application Review\CUPH22-002_Stakeholder Notification_20220817.docx

RECEIVED

AUG 24 2022

JAMESTOWN
SANITARY DISTRICT

DATE: September 12, 2022

**SURFACE/MINERAL
RIGHTS OWNER:** John Gray

APPLICANT: Reuben Chirnside - Land and Structure

PROJECT AND LOCATION

- PROJECT DESCRIPTION:**
1. Zone Change RZ21-013 to rezone a 0.19± acre parcel from C-1:D:H:HDP:MX (General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) to M-U(Mixed Use): D:H:HDP:MX combining under Title 17 of the Tuolumne County Ordinance Code (TCOC).
 2. Site Development Permit SDP21-007 to allow construction and/or expansion of an existing gas station, construction of new restrooms, restoration and conversion of a previous restroom facility, development of new parking area, outdoor patio area, fencing, new utility connections and associated infrastructure, for an intended retail commercial use.
 3. Historic Conditional Use Permit CUPH21-002 to allow exterior alterations and demolition within the subject parcel per Chapter 17.44(:H) and Chapter 17.45 (:HDP) of the TCOC.

LOCATION: The project site is located at 18211 and 18223 Main Street in the community of Jamestown, on the northeast corner of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

GENERAL PLAN: The project site is designated Mixed Use (MU) by the Tuolumne County General Plan land use diagrams. Table 1.3 of the Community Development and Design Element of the General Plan indicates that the M-U zoning district is compatible with the MU land use designation. Therefore, the proposed project may be found to be consistent with the General Plan.

ENVIRONMENTAL EVALUATION

After reviewing the project and its setting, the Environmental Coordinator for the County of Tuolumne has determined that the project is exempt from review under the California Environmental Quality Act (CEQA) pursuant to Sections 15301(l)(4) and 15303(c) of the *State CEQA Guidelines*. The project consists of the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure and the project consists of minor alterations of existing public or private structures including the demolition of an accessory garage. All public services are readily available to serve the project. None of the exceptions to the use of a categorical exemption found in Section 15300.2 of the *State CEQA Guidelines* apply to this project.

RECOMMENDATION

1. Community Development Department Staff recommends approval of Historic Conditional Use Permit CUPH21-002 and based upon the following findings 1A through 1H:

- A. The proposed development is consistent with the Tuolumne County General Plan.
- B. The proposed development is in accordance with the Tuolumne County Ordinance Code.
- C. The proposed project will not overburden existing municipal facilities.
- D. The size and terrain of the project site are suitable for the proposed use.
- E. The proposed development will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.
- F. No further environmental review is required for the project under the California Environmental Quality Act (CEQA) pursuant to Sections 15301(l)(4) and 15303(c) of the *State CEQA Guidelines*.
- G. The project conforms to the Jamestown Design Guidelines and to the principles of Section 17.46.070 of the TCOC.
- H. The cultural resource has been reviewed based on the priority criteria pursuant to Chapter 14.06, Tables 14.06(A) 14.06(8), and 14.06(C) of the Tuolumne County Ordinance Code. The demolition is in substantial conformance with the purpose of Chapter 14.08.

GENERAL INFORMATION

Site Description

- 1. The project site is located at 18223 Main Street in Jamestown, on the northeast corner of the intersection of Main Street and Seco Street. An existing commercial building facing Main Street, a small storage shed to the northeast of the main building, and an unpainted wood sided barn/garage near the rear (eastern) property boundary are located on the 0.2± acre parcel. The main gas station building, and the shed are painted white with blue trim. A blue canvas canopy is above a red door on the main building, and an old gas station canopy stretches from the main building towards Main Street. Two angled shed canopies are attached to the rear of the gas station building. An existing five-foot high dog-eared fence was constructed under Conditional Use Permit CUPH10-003 and Design Review DR10-016 in 2010. The fence is located along the northern parcel boundary.
- 2. The attached agenda map (Attachment #1) identifies the surrounding parcels in relation to the project site. Rocca Park is located to the west of the project site, on the opposite side of Main Street.

Project Site History

- 3. The main structure on the parcel was recorded in the *2008 Jamestown Historic Sites Inventory* as resource number #26. The building was originally listed in the 1983 *Jamestown Historic Sites Inventory* as the Shell Gasoline Station, constructed in 1938. A copy of the recorded DPR Form in the 2008 Inventory can be found in attachment #2.
- 4. During project research staff found the following list of projects that have been conducted on the site throughout previous years. These projects and/or their descriptions can be provided upon request.

Table 1: Subject Parcel Past Projects

• Historic Conditional Use Permit CUPH08-005	• DR10-016
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• Design Review Permit DR08-017	• CUP10-011
• CUPH09-007	• CUPH10-012
• DR09-029	• DR10-046
• CUPH10-003	• CUPH19-001

Project Description

5. An application for the following projects identified above in this report was submitted on November 10, 2021.

The proposed project scope consists of the following items:

- Restore the exterior façade of the existing gas station building.	- Construct new concrete patio being gas station and accessible pathway to parking area.
- Construct a new standalone bathroom building containing two accessible bathrooms.	- Install new landscaping at the intersection of Main Street and Seco Street and install perimeter fencing as shown on site plan.
- Restore exterior façade of existing bathroom building for storage use.	- Provide new water, sewer and electrical service to the site.
- Demolish existing wooden barn and construct three stall parking area.	- Center of the property is to be left as a gravel surface pending future development.
- Remove existing asphalt and concrete surfacing between gas station and main street and construct new concrete surface.	

Attachment # 4 identifies the proposed building elevations and color of the structure. Attachment #5 are example renderings which show the proposed colors of the structure more clearly. The proposed development of this site would consist of a retail shop use.

6. Historic Conditional Use Permit CUPH21-002 is to be reviewed by the Historic Preservation Review Commission for compliance with Sections 17.44 and 17.45 of the TCOC.

General Plan

7. The project site contains the Mixed Use (MU) General Plan land use designation. The purpose of the MU designation is to provide for a mixture of residential, commercial, and recreational facilities in an urban setting. This designation is applied within urban areas where a mixture of these uses is desirable near transportation corridors, downtowns, defined community centers, major commercial centers, schools, and community services.
8. Typical land uses allowed include detached and attached single-family dwellings, all types of multiple family dwellings, such as duplexes, apartments and senior housing projects, commercial facilities, parks, childcare facilities, and public facilities. The minimum parcel size is 2,500 net square feet. The maximum building intensity under this designation is 15 dwelling units per acre. The maximum floor area ratio is 2.0.
9. Table 1.3 of the Technical Background Report of the 2018 Tuolumne County General Plan indicates that the existing MU General Plan land use designation on the project site is consistent with the proposed Mixed – Use (M-U) zoning district. Furthermore, the project site is currently developed with a commercial structure

which is located on a 10,197.64 square foot parcel, which meets the minimum parcel size required in the M-U district. Therefore, the proposed project is consistent with the Tuolumne County General Plan.

10. Site Development Permit SDP21-007 has been found to be consistent with the Tuolumne County General Plan. The following Goals, Policies and Implementation Programs of the 2018 Tuolumne County General Plan also pertain to this project:

Policy 1.A.5

Promote infill and clustered patterns of development that facilitate the efficient and timely provision of urban infrastructure and services.

Site Development Permit SDP21-007 would potentially allow a commercial type of development on a parcel surrounded by commercially developed sites. Public water and sewer service mechanisms readily available and have served the site in the past.

Goal 1F

Promote the development of commercial uses to meet the present and future needs of Tuolumne County's residents and visitors and maintain economic vitality.

Goal 6D

Promote the development of commercial, industrial, agricultural, and recreational facilities and tourism uses to provide jobs for County residents and diversify the local economy.

Approval of Site Development Permit SDP21-007 would potentially allow for a commercial retail type use located within a tourist destination which would be in support of Goal 1F and Goal 6D.

Jamestown Community Plan

11. The project site is within the area that is subject to the Jamestown Community Plan found in Volume III of the 2018 Tuolumne County General Plan. The proposed project is consistent with the following Goals, Policies, and Implementation Programs of the Jamestown Community Plan.

Policy JT-A.2

Encourage all new development in the Design Review and Historic Design Preservation Combining Districts and along the State Highway 49/108 corridor to be designed in a manner that is compatible with Jamestown's historic character.

Policy JT-A.3

Require new development within the Design Review Combining District and encourage new development within the Historic Design Preservation Combining District to be compatible with the Jamestown Design Guidelines in order to preserve the historic character of Jamestown.

The project has been designed in accordance with the Jamestown Design Guidelines and incorporates historic design features, in accordance with Policies JT-A.2 and JT-A.3. Please see the "Jamestown Design" Section below in this report for specific ways in which the project meets these design criteria.

Policy JT-A.5

Require new development to utilize landscaping for aesthetic and functional purposes.

Policy JT-B.1

Require urban development to occur in an order, contiguous manner around the Jamestown townsite and discourage inappropriately placed urban development outside the identified

community in order to maintain a compact development pattern and to avoid premature extension of public facilities and structures.

Policy JT-D.2

Encourage new commercial development to be located within the existing central business district by utilizing existing historic buildings or structures and constructing on vacant parcels to infill between buildings.

The project site is located within the identified community of Jamestown and is centrally located. The project site is surrounded by commercially developed parcels and has utilities and infrastructure readily available to serve the development. Therefore, the project is consistent with Policies JT-A.5, JT-B.1, and JT-D.2.

Ordinance Code

12. The project site is currently zoned C-1:D:H:HDP:MX (General Commercial: Design Control Combining: Historic Design Preservation Combining: Mobilehome Exclusion Combining) under Title 17 of the TCOC.
13. Zone Change RZ21-013 is proposing to change the primary zoning district from C-1 to M-U, while maintaining all combining districts.
14. TCOC section 17.30.010 states the purpose of the M-U zoning district is to provide for a mixture of residential, commercial, and recreational facilities in an urban setting. It is intended that this district be established within urban areas, where a mixture of these uses is desirable near transportation corridors, downtowns, defined community centers, major commercial centers, schools, and community services. This district is not intended to provide shopping centers or major commercial developments of a community or regional nature. Development within this district shall be served with public water, public sewer, paved streets and adequate police and fire protection according to the policies of the general plan. Development in this zone must comply with Title 15 of this Code relative to fire safety standards.
15. Section 17.46.010 of the TCOC states that the design review combining (:D) district is intended to be combined with any other district in which it is desired to protect the overall appearance of the district. As there is no longer a Design Review Committee, it is the Historic Preservation Review Committee and Board of Supervisors duty to review the project in accordance with Section 17.46.080 of the TCOC. Section 17.46.080 of the TCOC identifies that the decision-making body shall make the finding that the project conforms to the design guidelines applicable to the location of the project and to the principles in Section 17.46.070.

Section 17.46.070 states, "In reviewing the application for a discretionary entitlement within a design review combining (:D) district that will result in a change in the appearance of a parcel, the decision-making body shall consider whether the proposal conforms to the applicable design guidelines adopted by the Board of Supervisors for the design review combining (:D) district and with the following principles:

- A. Regulation of design should not be so rigidly enforced that individual initiative is precluded in the design of any particular improvement or substantial additional expense is incurred. The regulation exercised should be that necessary to achieve the overall objectives as set forth in the design guidelines applicable to the location of the project.
- B. Compatible design of buildings and other features should not result in substantial increased expenses or time delays for the development. The focus of design review is on compatible appearance within the community and, as such, the use of innovative or alternative materials that

have a similar appearance to traditional materials will be supported as a means to reduce the escalation of costs to achieve harmonious development within the area.

- C. Where buildings are grouped in proximity, harmony between individual buildings in any group is of equal importance to the architectural character of any individual building. Similarity in type of construction, materials, colors, landscaping, signs and other features will help to minimize disharmony between buildings in proximity.
- D. The aesthetic quality of the design of buildings and other features, as evidenced by the use and relationship of materials, color and texture, application of the principles of scale, proportion and harmony, and suitability of structure to its site, shall be comparable to that exhibited in the surrounding area.
- E. New improvements shall maintain design continuity, conform to, or be aesthetically compatible in areas where a particular design style or theme has been established.

The project is consistent with Section 17.46.070, with the evidence for the findings found in the Jamestown Design Guidelines section of this report.

- 16. The purpose of the historic (H) combining district is to preserve and enhance places and things of particular importance in local, state, or national history. No building, structure, object, or site in a historic combining district may be constructed or altered in exterior appearance without first obtaining a use permit. The applicant has applied for CUPH21-002, which is being reviewed for conformance with Findings 3A through 3H before the respective decision-making body.
- 17. The Historic Design Preservation (HDP) combining district is to preserve and enhance the historic character of area containing a significant number of cultural resources worthy of preservation. By attempting to ensure compatibility of construction and exterior alteration of cultural resources, the County seeks to promote orderly and harmonious development so as to enhance the general historic appearance, tourism potential and land values in the area as a whole.
- 18. Section 17.45.060 of the Tuolumne County Ordinance Code (TCOC) states that no structure, building, object, or site in a historic design preservation (HDP) combining district may be constructed or altered in exterior appearance without first obtaining a use permit, unless specifically exempted. The proposed project does not qualify for an exemption from the need to obtain a historic Conditional Use Permit, because the proposed project involves a change to the appearance of the exterior of the structure.
- 19. In reviewing the use permit, the decision-making body shall consider the priority of the resource according to Tables 14.06(B) and 14.06(C) of this Code (attachment #6), and the following shall be considered:
 - A. The siting of the cultural resource upon the property as compared to the siting of other cultural resources in the immediate neighborhood.
 - B. All new construction and modifications to cultural resources shall be proportional and harmonious with the historic character of the area; shall make appropriate and fitting use of materials; shall have colors in good taste and never harsh or garish, but in harmony with themselves and their environment.
 - C. Landscaping shall be required on the parcel in keeping with the character or design of neighboring buildings, and existing mature trees and shrubs shall be preserved whenever possible and practicable.
 - D. The size, location and arrangements of onsite parking and paved areas and their lighting.
 - E. Ingress, egress and internal traffic circulation.
 - F. Original appearance of the cultural resource.

- G. All of the above factors shall be related to the setting or established character of the surroundings.
- H. Rehabilitations, alterations, additions, or other modifications to the exterior of resources within the HDP district should comply with the Secretary of the Interior's Standards. A project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings shall be considered exempt from review under the California Environmental Quality Act pursuant to Section 15331, Class 31, of the State CEQA Guidelines.
- I. When reviewing use permits pursuant to Section 17.45.060, the Historic Preservation Review Commission shall consider the effects of proposed alterations to cultural resources, proposed in response to local, state and federal disability access regulations and guidelines, on the significance of cultural resources.

- 20. The Mobilhome Exclusion (MX) combining district is intended to be combined with any principal zoning district in which the use of older mobilehomes as residences on individual parcels would conflict with the aesthetic, social or economic development of any such principal zoning district. The project is not proposing the use of a mobilehome. The site is currently developed with a commercial structure which will be altered in exterior appearance therefore the provisions of this chapter are not applicable at this time.
- 21. Site Development Permit SDP21-007 is to allow construction and/or expansion of an existing gas station, construction of new restrooms, restoration and conversion of previous restroom facility, development of new parking area, outdoor patio area, fencing, new utility connections and associated infrastructure, for an intended retail commercial use. Pursuant to Section 17.68.100 (B) of the TCOC, the applicant has applied for Site Development Permit SDP21-007. SDP21-007 will be subject to Conditions of Approval #1 through #44. Historic Conditional Use Permit CUPH21-002 is to be reviewed by the Historic Preservation Review Commission for compliance with Sections 17.44 and 17.45 of the TCOC.
- 22. Table 1 below has been linked to all respective Title 17 chapters of the TCOC to identify their purpose and provide relevant information:

Table 1:

<u>Zoning</u>	<u>TCOC Section</u>	<u>Link</u>
C-1	17.34	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/438/Chapter-1734--General-Commercial-District-or-C-1-District?bidId=
M-U	17.30	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/435/Chapter-1730--Mixed-Use-District-or-MU-District?bidId=
D	17.46	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/449/Chapter-1746--Design-Review-Combining-District-or-D-District?bidId=
H	17.44	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/447/Chapter-1744--Historic-Combining-District-or-H-District?bidId=
HDP	17.45	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/448/Chapter-1745--Historic-Design-Preservation-Combining-District-or-HDP-Combining-District?bidId=
MX	17.48	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/450/Chapter-1748--Mobile-Home-Exclusion-Combining-District-or-MX-District?bidId=

C-1 = General Commercial
M-U = Mixed Use

H = Historic
HDP = Historic Design Preservation

MX = Mobilehome Exclusion

Jamestown Design Guidelines

23. The Jamestown Design Guidelines can be found at this link:
 - <https://www.tuolumnecounty.ca.gov/DocumentCenter/View/2335/Jamestown-Design-Guidelines?bidId=>
24. The project site contains the (D) Combining zoning district and is therefore subject to the Jamestown Design Guidelines, even though a specific design review permit is not required. The project has been reviewed for consistency with the Jamestown Design Guidelines, and staff has determined that the development is consistent with the design guidelines. Specifically, the following design criteria from the Jamestown Design Guidelines have been incorporated into the modified building:
 - The buildings in Jamestown have gabled, hip, or flat roofs.
 - Three dimensional architectural features which project out from the façades of new or modified buildings should be compatible with similar projections already common to existing buildings.
 - Separate large windows and door glass into smaller panes by mullions.
 - Break up a large façade with a variety of historic colors and tone patterns. Brighter colors should be limited for use as accents.
 - Utilize and incorporate a variety of textures, such as brick, stone, painted or natural wood. These textures should be used in-lieu of metal.
 - Use landscaping, such as trees and shrubs, to break up, screen and shade large parking areas.
 - The colors and tones used on new, modified, or restored buildings should relate to the historic color palettes already established by adjacent buildings.
 - Construction materials used on the exterior of a new, modified, or restored building should be compatible with the materials used on adjacent existing buildings and structures of the Design Review Area as a whole.

Cultural Resources

25. The project consists of restoring and converting the exterior façade of the primary structure, back to the Shell Gas Station that it once was and demolishing a secondary structure (the garage) amongst other site improvements. The recorded Department of Parks and Recreation Primary Record Form (DPR Form) found in attachment #2, identifies that the (originally) Shell Gas Station dates back to 1938.
26. The Tuolumne County Database of Cultural Resources has been reviewed to determine the presence of known cultural resources on the project site. A cultural resource indicator as contained in Chapter 14.10(B) of the TCOC is present on the site as the primary structure is greater than 50 years in age. The indicator is the fact that the primary historical structure on the project site dates back to 1938, which therefore is more than 50 years of age. The Assessor's Office was contacted to locate a date of assessment for the barn structure which the date of assessment was determined to be around 1986 which indicates the structure may be 36 years of age.
27. The project site is documented in the *Historic Resources Inventory Jamestown, Tuolumne County, California* prepared in 2008 by Judith Marvin and Terry Brejla. The structure was recorded and documented on DPR forms (attachment #2). Primary number P-55-005448 is a recorded historical resource therefore, no further study was required. Furthermore, Section 14.10.030 (B) and (C) of the TCOC identifies exemptions from the requirement of a cultural resource study which this project meets. The potential for subsurface cultural resources exists; therefore, the project will include a condition to address the possibility of subsurface cultural resources being discovered during development of the site as required by Section 14.10.150 of the Ordinance Code.

Traffic

28. The project site's parking will be accessed via an encroachment off Seco Street in Jamestown. Seco Street is a publicly dedicated, County-Maintained Road. The Engineering Division of Public Works reviewed the proposed project and indicated that the encroachment may require use or modification to part of an existing commercial-type driveway currently located in the street sidewalk along Seco Street. The Public Works Department indicated that it should be widened as required to provide the full width of the commercial driveway throat, and to align with an existing gate near the gas station building. They also indicated that the existing driveway depression should be sawcut and removed to delete the implied driveway along that portion of frontage. The project has also been conditioned to conform to the geometric requirements of the TCOC sections 11.12 and 11.16.
29. Pursuant to Resolution 74-20 adopted by the Board of Supervisors on August 4, 2020, the proposed project would screen out of Vehicle Miles Traveled (VMT), as it is below the thresholds established by the Board. The project would screen out based on being a local serving retail project of less than 50,000 square feet, as identified by the adopted thresholds. Therefore, no mitigation is required as there are no impacts to VMT.
30. As determined by the Tuolumne County Board of Supervisors, the project proponent or subsequent developer is required to pay an appropriate Traffic Impact Mitigation Fee (TIMF) to mitigate the projects' impact on the County's circulation system, pursuant to Chapter 3.54 of the TCOC. The current TIMF for a low volume retail commercial use is \$807 per every 1,000 square feet. The existing and proposed structures combined is a total of 708 square feet. Therefore, the TIMF for the project based on the current fee schedule is as follows:

$$(\$807/1,000 \text{ square feet}) \times 708 \text{ square feet} = \$571.36$$

The project has been conditioned to require payment of the applicable TIMF. The TIMF will be calculated and due prior to the issuance of a certificate of occupancy issued by the Building and Safety Division. The project site is not located on road frontages listed in the Countywide Traffic Circulation Improvement Program that qualify for TIMF credits for Capital Improvement Projects.

Utilities

31. The project site is within the water service area of the Tuolumne Utilities District and the sewer service area of the Jamestown Sanitary District. The Jamestown Sanitary District (JSD) reviewed the project, and indicated that at the time of the Stakeholder Notification, they had not received an application from the project applicant and recommended that the applicant contact them as soon as possible. The information was forwarded to the applicant, and they will be working with JSD to provide necessary information.
32. The Tuolumne Utilities District (TUD) reviewed the proposed project and indicated that there is an existing 6-inch main located within the Seco Street right-of-way and a 10-inch main located within the Main Street right-of-way adjacent to the project site. TUD indicated that there is adequate capacity to serve the project, and that the property is currently served by a water service of unknown size located in the Main Street right-of-way, with an active utility billing account. TUD indicated that the project proponent must furnish information from the local fire authority regarding the required fire flow and duration before the district can determine if the existing distribution system has adequate capacity to meet the future project needs. TUD indicated that the project applicant is responsible for obtaining necessary permits and paying any necessary project fees.

33. Pacific Gas and Electric Company (PG&E) supplies electricity to the project site. PG&E was sent a stakeholder notification letter, but they did not provide a response. It is not anticipated that the proposed project would overburden electrical capacity. Three franchise waste haulers in Tuolumne County offer residential and commercial recycling and waste programs. Cal Sierra Disposal, Inc. and Burns Refuse Service offer residential curbside recycling in conjunction with refuse service, as well as commercial commingled recycling service. It is unknown which solid waste disposal service would potentially serve this location, but options exist. Based on the proposed use of the site as retail commercial, the project would not overburden electrical or waste/recycling facilities and there is capacity to serve the proposed project. No other municipal facilities are expected to be impacted by the proposed project.

Landscaping

34. Section 15.28.030 of the TCOC states that the minimum area required to be landscaped for commercial, industrial and multiple-family residential development projects that are subject to a Site Development Permit, on land zoned C, M, BP, M-U, R-3, or R-2 is ten percent (10%). Existing trees and other vegetation are encouraged to be retained and shall count toward meeting these requirements. Open Space or Open Space-1 zoning shall also count towards this requirement. For the 0.19± acre (10,148.73± square foot) parcel, a minimum of 1,014.87± square feet of landscaped area shall be required. This project has been conditioned to require the submittal of a landscape plan.

Adjoiner Comments

35. Property owners within 300 feet of the project site were notified of the project via mail on December 22, 2021. A total of 82 property owners were notified. The CDD did not receive any public feedback from the adjoining properties.

Public Agency Review

36. The subject application was circulated to various State and County agencies. The agencies and departments listed below provided responses and conditions that would apply to the project.

Building and Safety Division

The Building and Safety Division of the CDD commented on the project and advised that the project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), that building permits are required for all non-exempt structures being constructed, and that the hours of construction shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction shall be prohibited on Sunday and County holidays.

Engineering Division

The Engineering Division of the CDD reviewed the proposed project and provided conditions which have been incorporated into the Conditions of Approval for the project. These conditions include the requirement of submittal and approval of grading plans, drainage plans, a parking area plan, lighting plan, encroachment plan, and an erosion control plan. The Engineering Division advised that the proposed driveways and parking areas will need to be constructed to Title 11 standards. The Engineering Division also indicated to avoid disturbance to any existing "Walk of Fame" medallions in the existing street sidewalk along the project frontage.

Fire Prevention Division

The Fire Prevention Division reviewed the proposed project and offered no comment on the project as proposed.

Jamestown Sanitary District (JSD)

JSD indicated that they have not received any preliminary plans or information on providing new sewer services to the site. As the project scope indicates providing new water and sewer utilities to the site, staff has incorporated Condition of Approval #4 for the proposed project.

Tuolumne Utilities District

The Tuolumne Utilities District (TUD) reviewed the proposed project and indicated that there is an existing 6-inch water main located within the Seco Street right of way and a 10-inch main located within the Main Street right-of-way adjacent to the project site that the development could tie into. TUD indicated that the property is currently served by a water service of unknown size located in the Main Street right-of-way, with an active utility billing account. TUD indicated that the project applicant is responsible for obtaining necessary permits and covering any fees.

Tuolumne Me-Wuk Tribal Council

The Tuolumne Me-Wuk Tribal Council requested that one of their Cultural Monitors be present while ground disturbance takes place. Staff has addressed this under Condition of Approval #27.

California Department of Transportation (Caltrans)

Caltrans reviewed the proposed project and requested that staff forward any environmental documents to their department. Staff indicated to Caltrans that once an environmental document has been determined, staff will forward them a copy. As indicated in this report a Notice of Exemption and Notice of Determination have been deemed appropriate for this project by the County's Environmental Coordinator, and a copy will be sent to Caltrans.

Tuolumne Heritage Commission

The Tuolumne Heritage Commission indicated that if the barn structure was in excess of 50 years of age, the Historic Preservation Review Commission (HPRC) Demolition Committee must first review the application. As indicated in item #25 of this staff report, the Assessor's Office was contacted to locate a date of assessment for the barn structure which the date of assessment was determined to be around 1986. Therefore, staff determined that a demolition review was not necessary for this project.

Historic Conditional Use Permit Findings

34. Community Development Department Staff recommend approval of Historic Conditional Use Permit CUPH21-002 based upon the following findings, and subject to Conditions of Approval 1 through 44:
 - A. The proposed development is consistent with the Tuolumne County General Plan.
 - B. The proposed development is in accordance with the Tuolumne County Ordinance Code.
 - C. The proposed project will not overburden existing municipal facilities.
 - D. The size and terrain of the project site are suitable for the proposed use.
 - E. The proposed development will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.
 - F. No further environmental review is required for the project under the California Environmental Quality Act (CEQA) pursuant to Sections 15301(l)(4) and 15303(c) of the *State CEQA Guidelines*.
 - G. The project conforms to the Jamestown Design Guidelines and to the principles in Section 17.46.070.

- H. The cultural resource has been reviewed based on the priority criteria pursuant to Chapter 14.06, Tables 14.06(A) 14.06(8), and 14.06(C) of the Tuolumne County Ordinance Code. The demolition is in substantial conformance with the purpose of Chapter 14.08.

PREPARED BY: Cheydi Gonzales, Land Use Coordinator

Property Owner: John Gray

Applicant Information:

Reuben Chirnside, Project Engineer
Land and Structure
105 South Stewart Street
Sonora, CA. 95370
209-532-5173

List of Attachments:

Attachment #1: Agenda Map
Attachment #2: Recorded DPR Form
Attachment #3: Site Plan
Attachment #4: Elevations
Attachment #5: Proposed Colors
Attachment #6: Tables 14.06(B) and 14.06(C) of the TCOC
Attachment #7: Conditions of Approval for SDP21-007 and CUPH21-002
Attachment #8: Comment letters

S:\Planning\PROJECTS\Site Development Permit\2021\SDP21-007 (CUPH21-002) Gray\HPRC\HPRC_Agenda Report (Gray) .doc



ATTACHMENT #2: Recorded DPR Form

State of California—The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P-55-005448

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 5

*Resource Name or #: (Assigned by recorder) 18223 Main Street; JS-26

P1. Other Identifier: Shell Gasoline Station (#10 in 1983 survey)

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Tuolumne

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Sonora, Calif. Date 1987 T 1N R 14E, NW ¼ of SE ¼ of Sec. 10; MDBM

c. Address 18223 Main Street City Jamestown Zip 95327

d. UTM: (Give more than one for large and/or linear resources) Zone 10 mE/ mN

e. Other Locational Data: e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 003-112-06 (Lot 50, Bl 5)

*P3a. Description: Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries). Dating to 1938, this Art Moderne gasoline station was in original condition when surveyed in 1983, but has now undergone several alterations. Originally a square metal structure with multi-light windows on the front and sides, with a central door, the windows have now been replaced or covered with T-111 vertically grooved patterned plywood. The central front door has also been covered and is now flanked with casement windows. An addition has been made to the north elevation, clad in plywood, with an entry door and storefront window. It originally was just an overhang for auto repair, while the western canopy held the pumps and service area. Metal posts with curved support brackets are featured on the west end of the front projection. A plain entablature courses around the prominent overhangs and bordered with decorative molding. A small square structure, the parts building, was also glassed in on three sides with a shed addition to the rear. It has also now been clad in plywood.

*P3b. Resource Attributes: (List attributes and codes) HP6, One story gasoline station

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View east

5 May 2008, IMG-2876

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1938

*P7. Owner and Address:

Wilma & Paul Barendregt, Tr

P.O. Box 515

Jamestown, CA 95327

*P8. Recorded by: (Name, affiliation, address)

Judith Marvin, Terry Brejla

Foothill Resources, Ltd.

P.O. Box 2040

Murphys, CA 95247

*P9. Date Recorded: 1 May 2008

*P10. Survey Type (Describe):

Reconnaissance survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historic Resources Survey, Inventory, and Evaluation of Jamestown, Tuolumne County, California. Judith Marvin and Terry L. Brejla. Submitted to the County of Tuolumne by Foothill Resources, Ltd., 2008.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☒ Other (List) 1983 Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 18223 Main Street; JS-26

B1. Historic Name: Shell Station

B2. Common Name:

B3. Original Use: Gas station

B4. Present Use: Commercial retail

*B5. Architectural Style: Art Moderne

*B6. Construction History: (Construction date, alterations, and date of alterations)

Constructed 1938; original windows removed, metal siding completely replaced with and northern overhang enclosed with T-111 vertically grooved patterned plywood, ca. 1995.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features: Former restroom located to east rear of parcel.

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Commercial development

Area Jamestown

Period of Significance 1930s Property Type Commercial

Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Jamestown's history reflects in microcosm the state's history beginning with the Gold Rush. Discovered in August 1848, the Woods Creek placers at Jamestown eventually yielded millions of dollars in gold. When the easily mined gold gave out, the town remained a trade and supply depot for mining higher in the foothills, with a prime location on the roads from the Central Valley, and agriculture flourished beginning in the 1860s with the aid of the ditches constructed to bring the water from the mountains. The "Second Gold Rush" of the 1890s-1910s, the result of advancements in technology and the infusion of foreign capital, granted new life to the town, surrounded as it was by the Mother Lode itself. But it was the coming of the Sierra Railway in 1897 that cemented Jamestown's status. The railroad transported the bounty of Tuolumne County's natural resources, including minerals, cattle, produce, and in particular lumber, to the waiting markets in California and across the country. The railroad also facilitated the dam construction projects of the 1910s-1940s and brought film crews to the area, providing another relatively stable source of income. When a wave of nostalgia began in the 1930s for California's real and imagined romantic past, Jamestown was ideally situated to capitalize on it, and continues to be a destination for tourists seeking the "real" Mother Lode of California's past. The building is not recommended as eligible for the National and California registers, because it lacks integrity of materials and design. While it is associated with the commercial development of Jamestown, it no longer maintains sufficient integrity of design, materials, or feeling to convey that association, nor does it appear eligible under Criteria B or D.

B11. Additional Resource Attributes: (List attributes and codes)

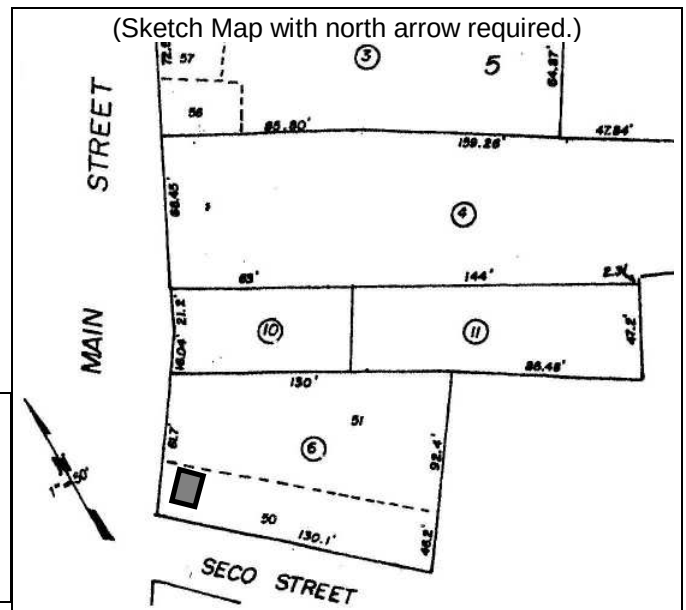
*B12. References:

B13. Remarks:

*B14. Evaluator: Judith Marvin, Terry Brejla
Foothill Resources, Ltd., P.O. Box 2040, Murphys, CA
95247

*Date of Evaluation: 21 September 2008

(This space reserved for official comments)



LOCATION MAP

Primary # P-55-005448

HRI # _____

Trinomial _____

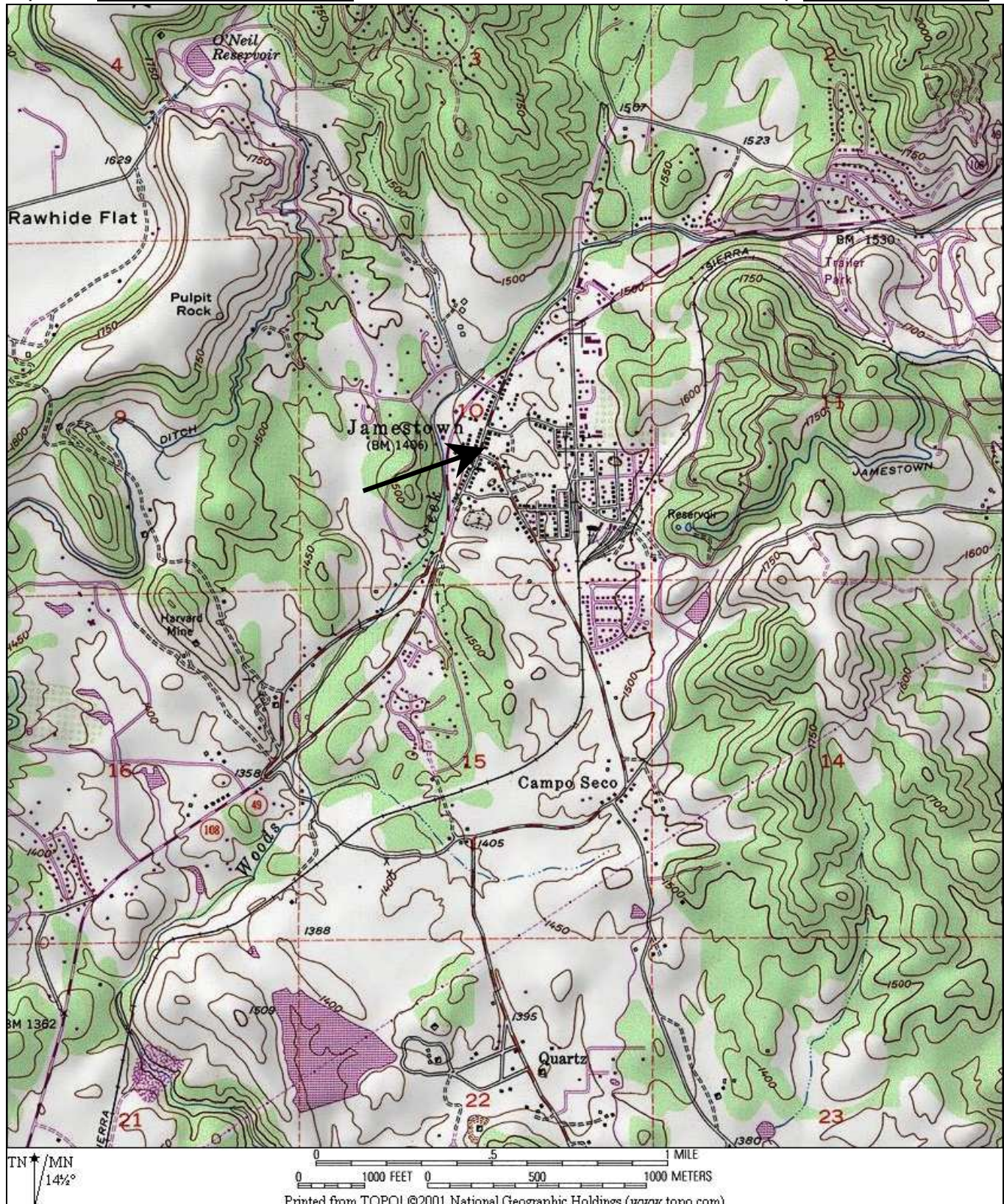
Page 3 of 5

*Resource Name or # (Assigned by recorder) 18223 Main Street; JS-26

*Map Name: Sonora, Calif.

Scale: 1:24000

Date of Map: 1948 PR 1987



HISTORIC RESOURCES INVENTORY

Ser. No. _____
HABS _____ HAER _____ NR 3 SHL _____ Loc _____
UTM: A 10/740525/1203590
C _____ D _____

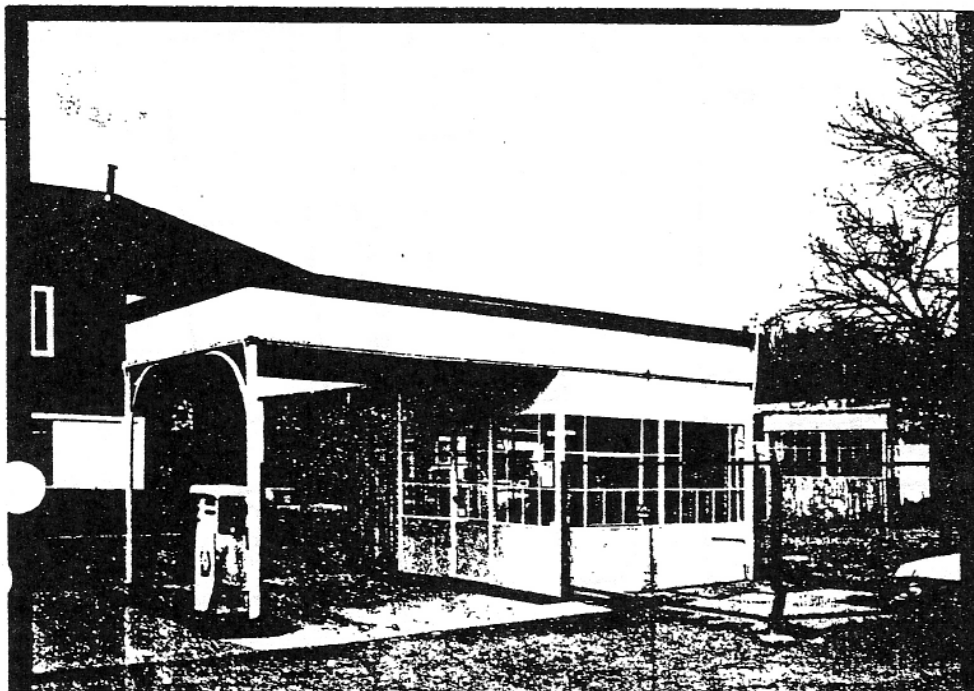
IDENTIFICATION

1. Common name: Shell Service Station #10
2. Historic name: Shell Service Station
3. Street or rural address: Main Street
City Jamestown Zip 95327 County Tuolumne
4. Parcel number: 3-112-06-0
5. Present Owner: Paul Barendregt, et al Address: _____
City Jamestown Zip 95327 Ownership is: Public _____ Private X
6. Present Use: Empty Original use: Service Station

DESCRIPTION

- 7a. Architectural style: Art Moderne
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

The Shell Service Station is a metal structure consisting of a square room with two large overhangs to the north and west. The pivotal room has glass paned walls above metal wainscoting on all sides. The northern overhang was for repairs while the western covered area held the pumps and service area. Metal posts with curved support brackets are featured on the west end of this projection. To the rear of the lot is a small square structure, the parts building, which is glassed in on three sides similarly to the room of the larger garage feature; A shed addition has been added to the rear. A plain entablature runs around the prominent overhangs bordered by decorative molding.



8. Construction date:
Estimated _____ Factual 1938
9. Architect Unknown
10. Builder Unknown
11. Approx. property size (in feet)
Frontage 62' Depth 130'
or approx. acreage _____
12. Date(s) of enclosed photograph(s)
March 1983

13. Condition: Excellent ☒ Good ☐ Fair ☐ Deteriorated ☐ No longer in existence ☐
14. Alterations: None
15. Surroundings: (Check more than one if necessary) Open land ☐ Scattered buildings ☒ Densely built-up ☐
Residential ☐ Industrial ☐ Commercial ☒ Other: ☐
16. Threats to site: None known ☒ Private development ☐ Zoning ☐ Vandalism ☐
Public Works project ☐ Other: ☐
17. Is the structure: On its original site? ☒ Yes Moved? ☐ Unknown? ☐
18. Related features: 2 structures on site

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

One of the early gas stations constructed in Jamestown, the structure is significant not only for representing this important introduction of the automobile but for its architectural quality. Virtually unchanged from its initial construction, it is a well-known historic landmark along Main Street.

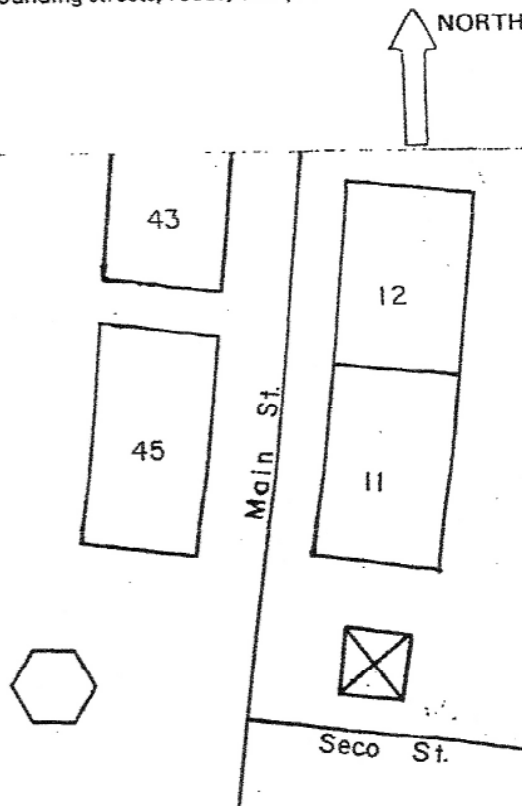
20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
Architecture ☒ Arts & Leisure ☐
Economic/Industrial ☐ Exploration/Settlement ☐
Government ☐ Military ☐
Religion ☐ Social/Education ☐

21. Sources (List books, documents, surveys, personal interviews and their dates).

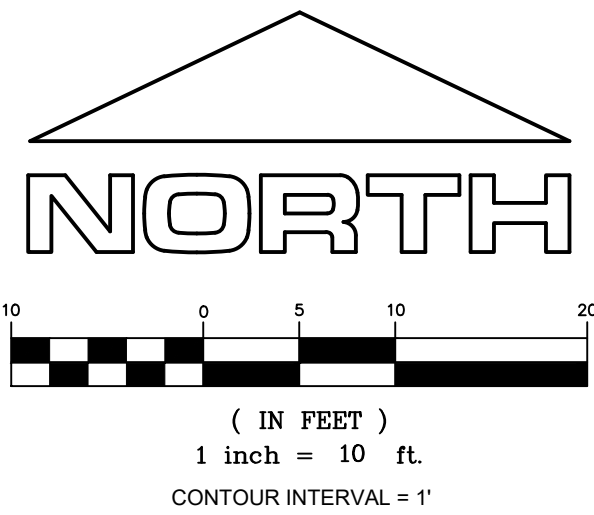
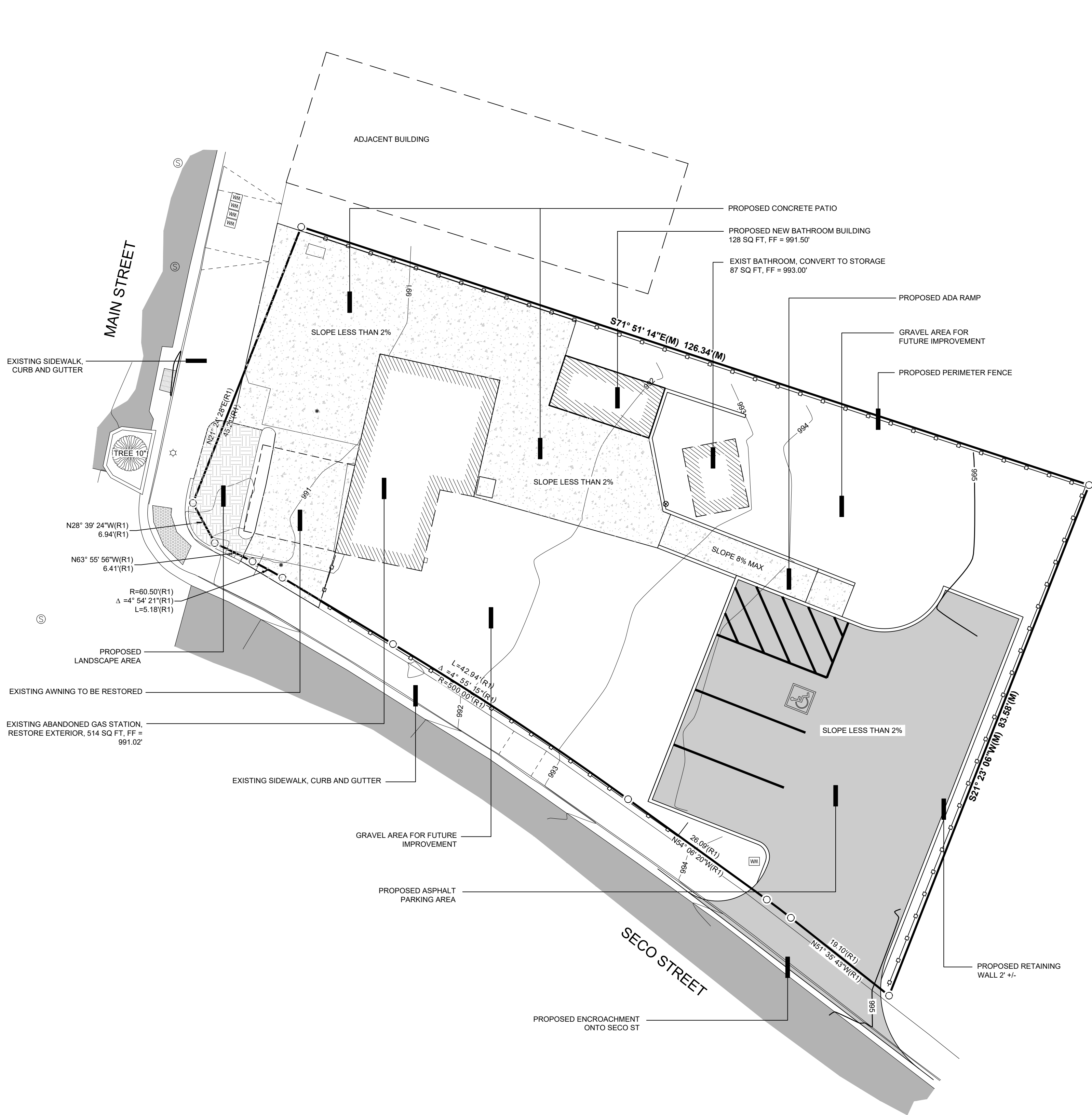
Assessor's Rolls

22. Date form prepared April 1983
By (name) J. Costello/J. Gorsuch
Organization Jamestown Hist. Site Survey
Address: 20685 Gaughan Ct.
City Soulsbyville Zip 95372
Phone: 209-532-7922

Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



SITE REVIEW APPLICATION PLAN FOR:
JOHN GRAY
18223 MAIN ST. JAMESTOWN, CA. 95370



OWNER INFORMATION

OWNER: JOHN GRAY
MAILING ADDRESS: 4414 PALMERO DR.
LOS ANGELES, CA 90065
PHONE: (213) 479-8404

SITE INFORMATION

ADDRESS: 18223 MAIN ST., JAMESTOWN CA. 95370
A.P.N.: 003-112-006
M.O.R.: 45 R/S 95
LOT SIZE: ±0.19 ACRES (NET)
SEWER: JAMESTOWN SANITARY DISTRICT
WATER: TUD
GENERAL PLAN: MU
ZONING: C-1 : D : H : HDP : MX PROPOSED ZONING: MU : D : H : HDP : MX
LOT ELEVATION: ±1415'

NOTES

- 1) - ALL BEARINGS AND DISTANCES SHOWN ARE RECORD UNLESS OTHERWISE NOTED
- 2) - THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. ALL BEARINGS AND DISTANCES SHOWN ARE RECORD AS NOTED.
- 3) - PRIOR TO COMMENCING ANY CONSTRUCTION ON THIS SITE IT IS ADVISED THAT ALL INVOLVED PARTIES REVIEW SECTION 8771 AND SECTION 8725 OF THE BUSINESS AND PROFESSION CODE, SECTION 605 OF THE CALIFORNIA STATE PENAL CODE AND SECTION 27581 OF THE GOVERNMENT CODE TO ENSURE THAT MONUMENT CONSERVATION HAS BEEN PROPERLY ADDRESSED.
- 4) - ELEVATIONS SHOWN ON THIS SITE PLAN ARE BASED ON AN ASSUMED ELEVATION OF 991.13 AT POINT #200 WHICH IS A NAIL & TAG L.S. 7403 SET IN CONCRETE SIDEWALK
- 5) - BUILDING SETBACKS ARE DESIGNATED PER TCOC 17.56.020 AS FOLLOWS:

IN C-1 DISTRICT'S NO BUILDING SHALL BE LOCATED CLOSER THAN THIRTY-FIVE FEET TO THE CENTERLINE OF ANY PUBLIC STREET OR RIGHT-OF-WAY

IN HISTORIC DESIGN PRESERVATION (HDP) DISTRICTS, BUILDINGS SHALL BE EXEMPT FROM THE BUILDING SETBACKS ESTABLISHED IN 17.56.020. THE BUILDING SETBACKS SHALL BE THE SAME AS THAT ESTABLISHED BY THE HISTORIC BUILDINGS WITHIN THE HISTORIC PRESERVATION DISTRICT. ANY IMPROVEMENTS SHOULD

ANY IMPROVEMENTS SHOULD BE VERIFIED BY TOULUMNE COUNTY PLANNING DEPARTMENT FOR COMPLIANCE WITH THESE SETBACKS

PROJECT DESCRIPTION

REZONE THE PARCEL FROM C-1 TO M-U TO BE CONSISTENT WITH THE GENERAL PLAN LAND USE DESIGNATION OF MU.

RESTORE THE EXTERIOR FACADE OF THE EXISTING GAS STATION BUILDING. CONSTRUCT A NEW STAND ALONE BATHROOM BUILDING CONTAINING (2) ACCESSIBLE BATHROOMS. RESTORE EXTERIOR FACADE OF EXISTING BATHROOM BUILDING FOR USE AS STORAGE. DEMOLISH EXISTING WOODEN BARN AND CONSTRUCT 3 STALL PARKING AREA. REMOVE EXISTING ASPHALT AND CONCRETE SURFACING BETWEEN GAS STATION AND MAIN STREET AND CONSTRUCT NEW CONCRETE SURFACE. CONSTRUCT NEW CONCRETE PATIO BEHIND GAS STATION AND ACCESSIBLE PATHWAY TO PARKING AREA. INSTALL NEW LANDSCAPING AT THE INTERSECTION OF MAIN ST AND SECO ST AND INSTALL PERIMETER FENCING AS SHOWN ON SITE PLAN. PROVIDE NEW WATER AND SEWER AND ELECTRICAL SERVICE TO THE SITE. A SECTION OF THE CENTER OF THE PROPERTY IS TO BE LEFT AS A GRAVEL SURFACE PENDING FUTURE DEVELOPMENT.

GRADING AND DRAINAGE

PRELIMINARY QUANTITIES INCLUDE:

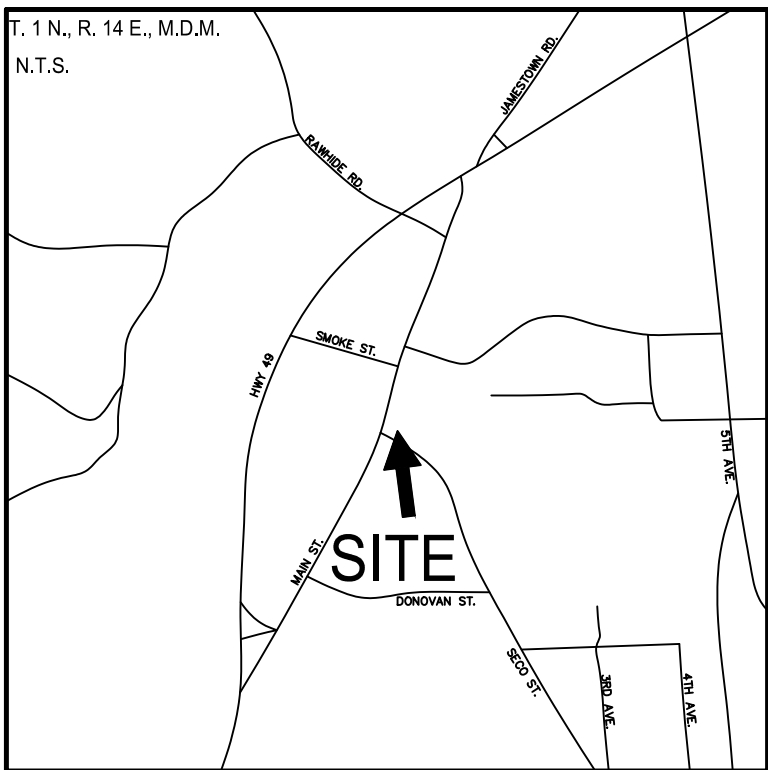
EXCAVATION / FILL: 100 - 150 CUBIC YARDS
ASPHALT PAVING: 2000 SQ FT +/-
CONCRETE SURFACE: 1700 SQ FT +/-
2 - 3' RETAINING WALL: 230 LINEAR FEET +/-
FENCING: 270 LINEAR FEET +/-

EXISTING STORM WATER DRAINAGE FLOWS OFFSITE TO MAIN STREET AND TO SECO STREET. THERE IS NOT UNDERGROUND STORM WATER CONVEYANCE ON SITE. NO PLAN HAS BEEN DEVELOPED FOR SITE STORM WATER AT THIS STAGE.

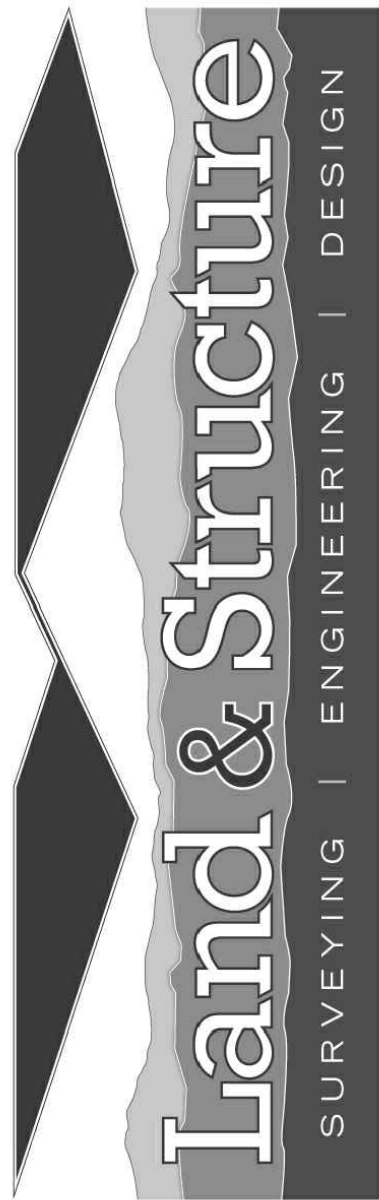
LEGEND

- - RECORD LOCATION OF MONUMENT PER (R1)
- - CALCULATED POINT, NOTHING FOUND OR SET.
- (R1) - RECORD PER 45 R/S 95
- - - BUILDING SETBACK LINE (B.S.L.) PER T.C.O.C. CHAPTER 17.56
- - - PUBLIC UTILITY EASEMENT (P.U.E.)
- WOOD FENCE
- CONCRETE
- PAVEMENT
- BUILDING
- WM - WATER METER
- SM - SEWER MANHOLE
- SC - SEWER CLEANOUT
- SP - SIGN POLE
- LP - LIGHT POLE
- BP - 6" BOLLARD
- UT - UNSPECIFIED TREE

VICINITY MAP



PROPOSED SITE PLAN



REVISIONS:

rev	date	description
1	10/27/21	Added rezone

OWNER INFORMATION:

John Gray
4414 Palmero Dr.
Los Angeles, CA 90065
Ph (213) 479-8404

SITE INFORMATION:

APN: 003-112-006
18223 Main St.
Jamestown, CA 95370

PROJECT INFORMATION:

A Site Plan for:
John Gray
18223 Main St.
Jamestown, CA 95370
Ph (213) 479-8404

ENGINEER OF RECORD:

ISSUE DATE: 10/27/21

DRAWN BY: BTD

CHECKED BY: ZPG

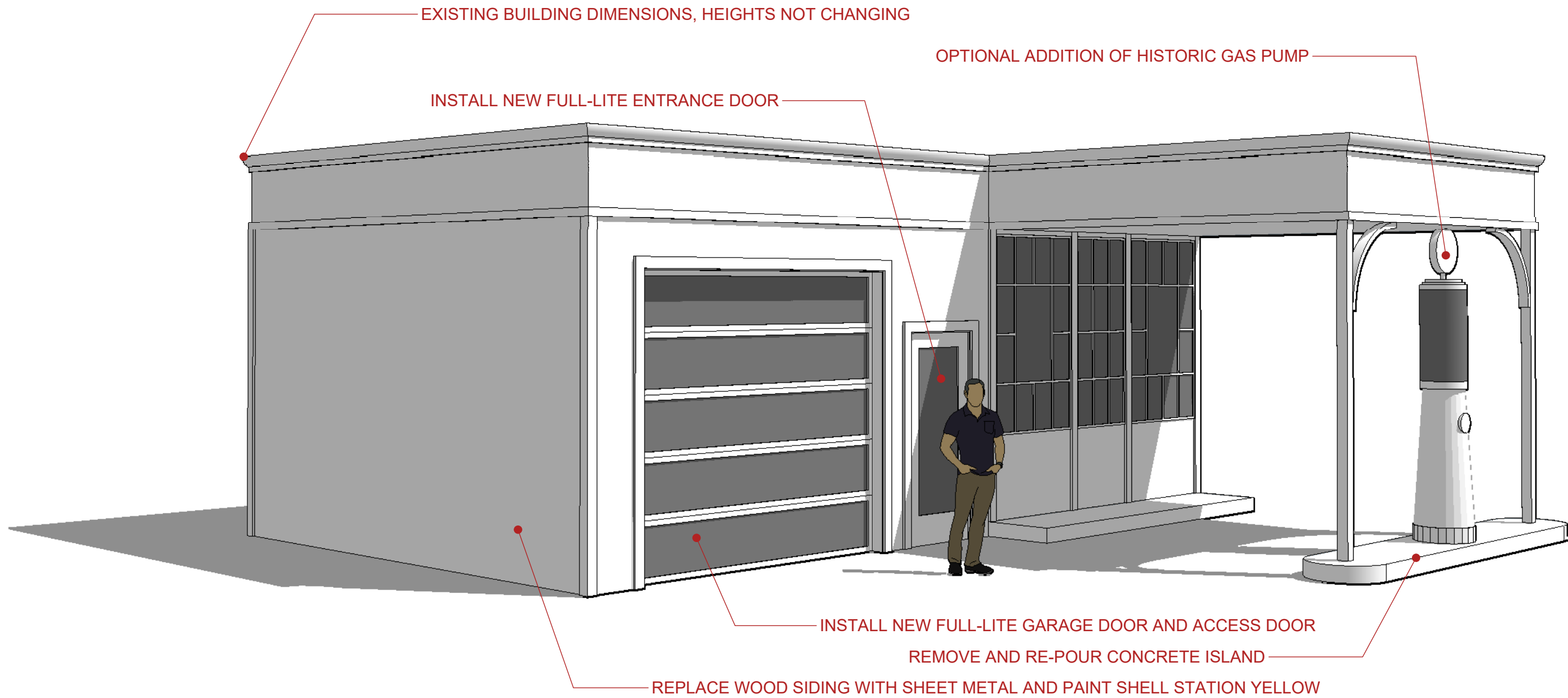
SCALE: 1"=10'

DRAWING: Site Plan

PROJECT NO: 20-10.18

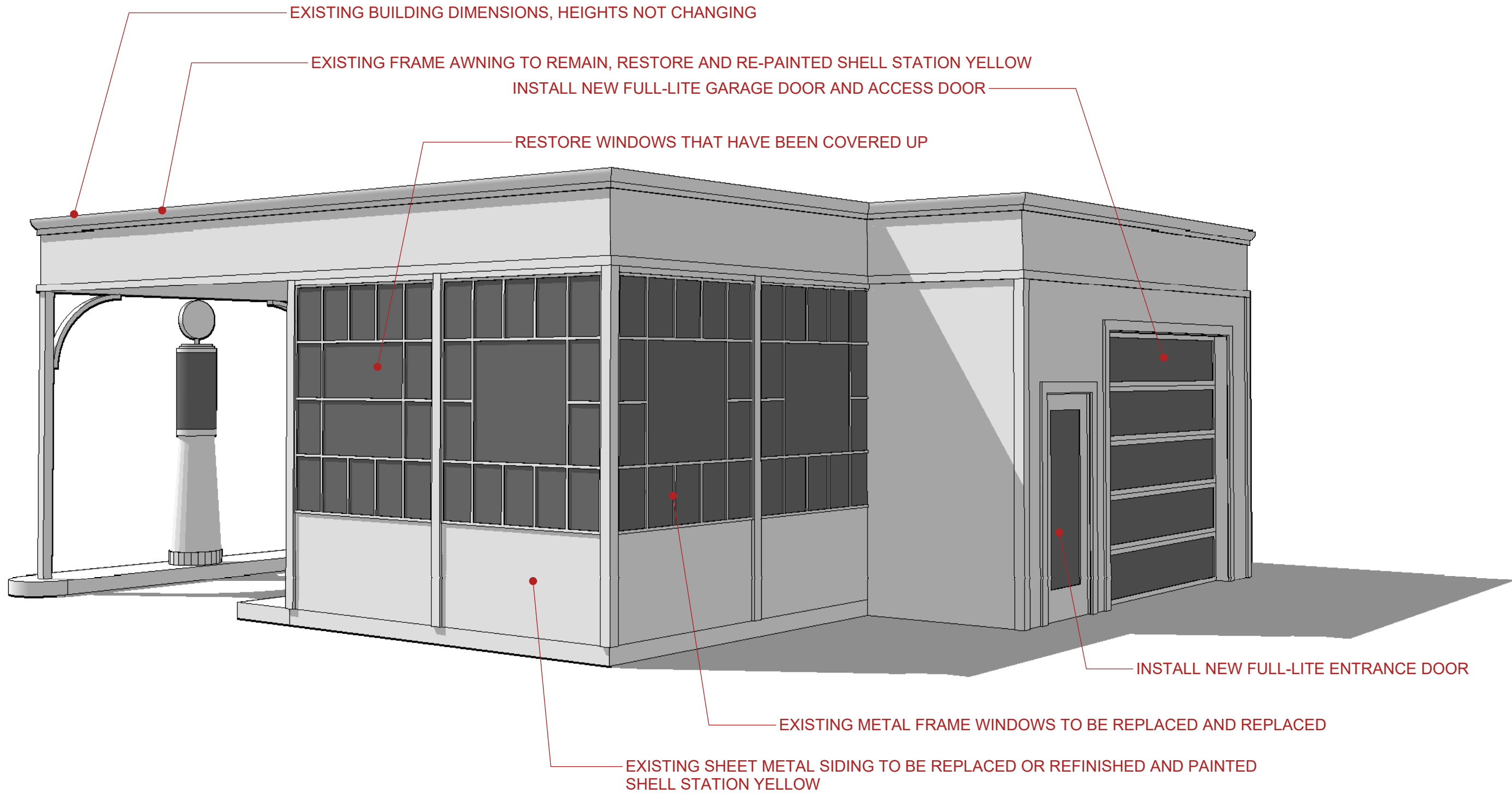
SHEET: 1

OF: 1



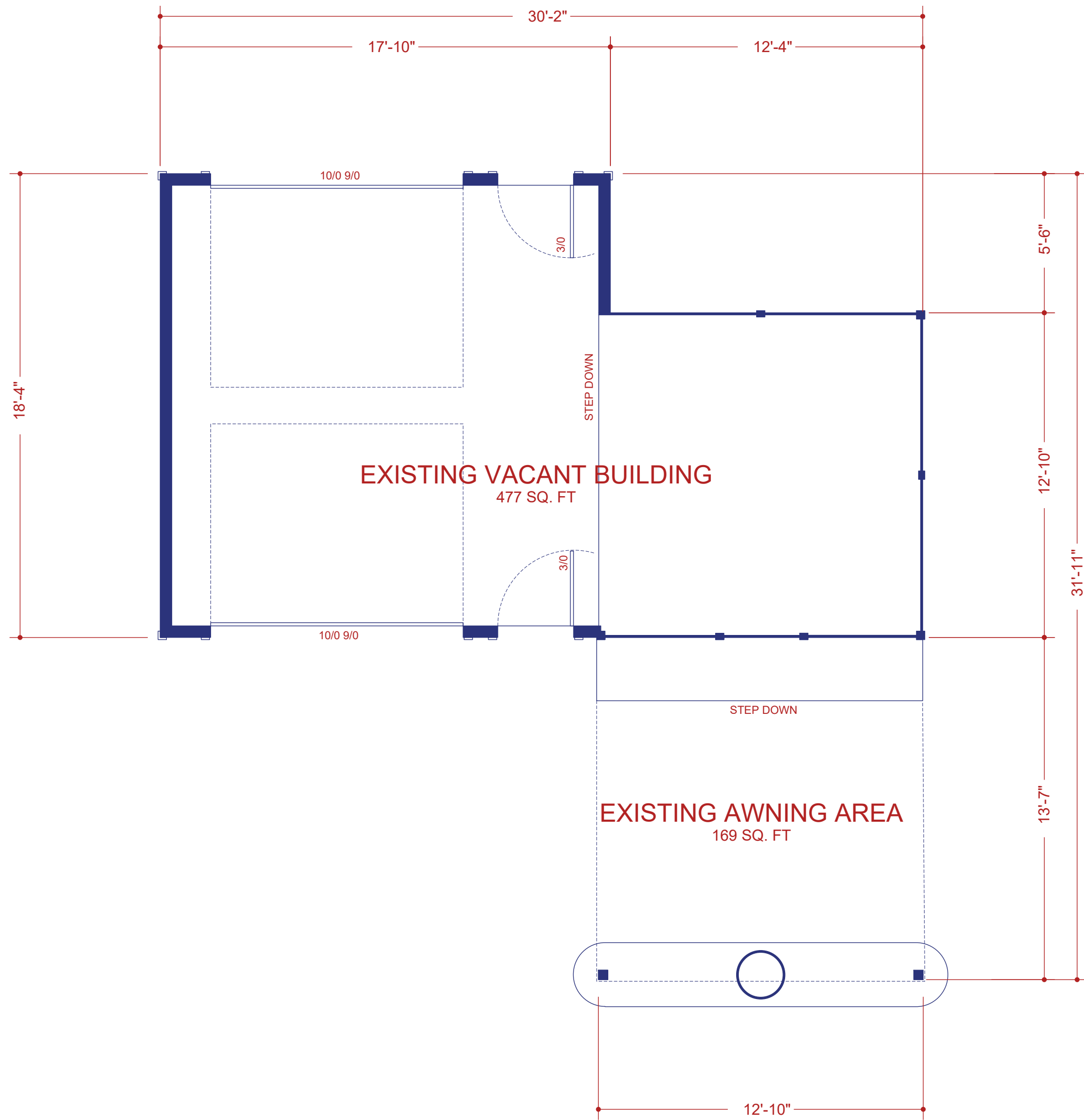
NOT TO SCALE

FRONT LEFT ELEVATION



NOT TO SCALE

REAR RIGHT ELEVATION



SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLAN

PROJECT DIRECTORY

PROJECT APPLICANT:
OWNER: JOHN GRAY JR.
MAILING ADDRESS: 4414 PALMERO DR.
LOS ANGELES, CA. 90065
PHONE: (213) 479-8404

CIVIL ENGINEER:
ENGINEER OF RECORD: ZACHARIAH GARMAN, CE
MAILING ADDRESS: LAND AND STRUCTURE
105 SOUTH STEWART ST.
SONORA, CA 95370
PHONE: (209) 532-5173

PROJECT SCOPE

EXTERIOR RESTORATION OF EXISTING BUILDING AND SITE IMPROVEMENT.

SITE INFORMATION

ADDRESS: 18223 MAIN STREET
JAMESTOWN, CA. 95370
A.P.N.: 003-112-006-000
LOT SIZE: 45 R/S 95
SEWER: ± 0.19 ACRES
WATER: JAMESTOWN SANITARY DISTRICT
POWER: T.U.D.
GENERAL PLAN: PG&E
ZONING: MU
LOT ELEVATION: C-1; D; H: HDP: MX
± 1415'

BUILDING DIMENSIONS

CONSTRUCTION TYPE: V-B
BUILDING OCCUPANCY: VACANT / UNDEFINED
BUILDING AREA: 477 SQ. FT.
AWNING AREA: 169 SQ. FT.

PROJECT GRADING

REFER TO SITE PLAN.



REVISION:

Rev.	Date	Description
------	------	-------------

OWNER INFORMATION:
John Gray Jr.
4414 Palmero Dr.
Los Angeles, CA. 90065
Phone: 213.479.8404
Email: johngrays@gmail.com

SITE INFORMATION:
APN: 003-112-006-000

PROJECT INFORMATION:

A New Project for:
John Gray Jr.
18223 Main Street
Jamestown, CA. 95370

ENGINEER OF RECORD:

These drawings and specifications are the property of the engineer and shall not be used on any other work except by agreement with the engineer. Written dimensions shall take preference over scaled dimensions and shall be verified on site. Any discrepancy shall be brought to the notice of the engineer prior to commencement of any work.

ISSUE DATE: June 9, 2021

DRAWN BY: JK

CHECKED BY: ZG, KQ

SCALE: AS NOTED

DRAWING: Floor Plan

PROJECT NO.: 20-10.18



Attachment #5 Proposed Colors

RECEIVED

JUL 07 2021

Community Development
Department



RECEIVED

JUL 07 2021

**Community Development
Department**

Attachment #6: Tables 14.06 (B) and (C)

TABLE 14.06(B)
DETERMINING CULTURAL RESOURCE PRIORITY DESIGNATIONS
FOR RESOURCES WHICH ALREADY HAVE BEEN
EVALUATED BY A QUALIFIED PROFESSIONAL

PRIORITY DESIGNATION	CRITERIA FOR ASSIGNING CULTURAL RESOURCE PRIORITY DESIGNATIONS
Priority 1	A resource listed on the National Register of Historic Places (National Register of Historic Places designation of 1)
Priority 2	A resource: 1. Determined to be eligible for or potentially eligible for listing on the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 2, 3, or 4; or 2. Listed on or officially designated as eligible for the California Register of Historical Resources; or 3. Listed on the Tuolumne County Register of Cultural Resources; or 4. A resource listed as a contributing resource in a cultural resource inventory within an existing HDP zone or which is eligible to be included within an HDP zone.
Priority 3	A resource determined to be eligible for listing in the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 5.
Priority 4	A resource determined to be ineligible for listing on the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 6; and determined to be ineligible for listing on the California Register of Historical Resources; and determined to be ineligible for listing on the Tuolumne County Register of Cultural Resources.

TABLE 14.06(C) - CRITERIA FOR ESTABLISHING CULTURAL RESOURCES PRIORITY DESIGNATIONS FOR RESOURCES WHICH HAVE NOT PREVIOUSLY BEEN EVALUATED

FACTOR	PRIORITY 1 (See preceding page)	PRIORITY 2 (2 points)	PRIORITY 3 (3 points)	PRIORITY 4 (4 points)	SCORE
INTEGRITY (retention of essential qualities of historic character): ● Location - remains in original location ● Design - accurately reflects original plan or components of the resource as a whole reflect design compatibility; retains much of its original feeling ● Setting - buildings, structures, sites, or objects associated with a later development period have not intruded on surrounding area to extent that original context is lost ● Materials - physical elements present during period(s) of significance remain, or, if replaced, replacements are compatible with period(s) of significance ● Workmanship - original character of construction details remains and have not deteriorated or been disturbed to the extent that their value as examples of craftsmanship have been lost ● Restoration - feasibility of restoring resource, if necessary ● Feeling - resource expresses the historic or aesthetic sense of a particular period of time	Pristine in all 7 integrity categories, almost entirely unmodified from original exterior appearance, original design features peculiar to style still in place	Superior integrity in at least 3 categories, limited modification from its original exterior appearance, capable of being easily restored to near original exterior appearance	Moderate integrity in at least one category, in average or below average physical condition with no more than a moderate level of modification from its original exterior appearance, could be restored with moderate effort to original appearance	Fair to poor integrity in all categories, in poor physical condition, and/or has had major alterations from original appearance, cannot be restored to original appearance without reconstruction of more than half of the resource.	
AGE	140 years old or older	100 years old or older	75 years old or older	50 years old or older	
CONTEXT/ASSOCIATION - Associated with broad themes, persons, events, movements, organizations, or patterns associated with the cultural, social, political, economic, religious, scientific, educational, military, agricultural, engineering, or industrial history important to the county, state, or nation. These associations will often be linked to one of the following six themes: transportation and communication; mining; water; ethnicity and social systems; agriculture; industry, commerce and tourism.	Resource has central association with theme(s)	Resource has a direct association with theme(s)	Resource has an indirect association with theme(s)	Resource has distant association with theme(s)	
DESIGNER - Designed or built by architect, engineer, notable master builder, artist, or other designer who has made an important contribution to the county, state or nation. Emphasizes overall designer contributions rather than the aesthetic merits of the design itself.	Designer who made important contributions to county and to state or nation	Designer who made important contributions to the county	Designer known, nonprofessional associated with single resource	Designer unknown	
ARCHITECTURAL STYLE OR BUILDING TYPE - Associated with a particular architectural style or building type, including the vernacular, important to the county, state, or nation.	Retains all attributes associated with its style or type or is a good example of its style if few survive	Retains most of the attributes associated with its style or type or is remodeled in a recognized style that does not destroy the original style or type	Retains few, but sufficient attributes associated with its style or type	Undecipherable as a style or type or is one of many examples of its style or type	
CONSTRUCTION MATERIALS - Embodies elements demonstrating outstanding attention to design, detail, craftsmanship; or outstanding use of particular structural material--especially the use of indigenous materials, surface, or method of construction or technology.	Outstanding or very early example if few survive (e.g., adobe)	Outstanding or very early example if many survive; good example if few survive	Good example if there are many examples of any material(s) and/or method(s) not generally in current use	Common example of any method(s) and/or material(s)	
TRADITIONAL LIFE WAYS - Traditional LIFE WAYS pertain to the association between a tradition, or cultural pattern, and the cultural resource which recalls the tradition and the age in which the tradition or cultural pattern was practiced.	Resource has a central association with a tradition spanning three or more generations.	Resource has a direct association with a tradition spanning three or more generations.	Resource has a direct association with a tradition spanning two generations or an indirect association with a tradition spanning two or more generations.	Resource has a distant association with a tradition spanning two or more generations.	
CONVEYS IMPORTANT SENSE OF TIME AND PLACE - The resource has prominence which contributes to a historic, visual, or environmental continuity. A typical resident of the area would notice the resource and remember it/them.	An individual resource or a unified urban or rural landscape which defines a period 100 or more years ago.	An individual resource or a unified urban or rural landscape which defines a period 75 or more years ago.	An individual resource or a unified urban or rural landscape which defines a period 50 or more years ago.	An individual resource which does not define a period 50 or more years ago.	
TOTAL SCORE (TOTAL OF INDIVIDUAL SCORES DIVIDED BY 8)					

Attachment #7: Conditions of Approval

CONDITIONS OF APPROVAL FOR SITE DEVELOPMENT PERMIT SDP21-007 HISTORIC CONDITIONAL USE PERMIT CUPH21-002

General Conditions:

1.	LU	As a condition of the grant of approval of this Permit, and as a continuing condition of approval of the Permit, developer/permittee/applicant/property owner/subdivider, and the successor in interest shall defend, indemnify, save and hold harmless the County of Tuolumne, its elected and appointed officials, officers, agents, employees and volunteers from any and all claims, actions, proceedings, or liability of any nature whatsoever (including attorney's fees and costs awards) arising out of, or in connection with the County's review or approval of the application or project on which this condition is imposed, or arising out of or in connection with the acts or omissions of the above described person, and his/her/its agents, employees, or contractors, during any work performed in connection with the application or project. With respect to review or approval, this obligation shall also extend to any effort to attack, set aside, void, or annul the approval of the project including any contention the project approval is defective because a county ordinance, resolution, policy, standard, or plan is not in compliance with local, state or federal law. With respect to acts or omissions of the above-described person and his/her/its agents, employees, or contractors, the obligation hereunder shall apply regardless of whether the County prepared, supplied, or approved plans, specifications or both. If the defense right is exercised, the County Counsel shall have the absolute right to approve any and all counsel employed to defend the County. To the extent the County uses any of its resources to respond to such claim, action or proceeding, or to assist the defense, the above-described person will reimburse County upon demand. Such resources include, but are not limited to, staff time, court costs, County Counsel's time at its regular rate for non-County agencies, or any other direct or indirect cost associated with responding to, or assisting in defense of, the claim, action, or proceedings. For any breach of this obligation the County may, without notice, rescind its approval of the application or project to which this covenant/condition is attached. (TCOC, Section 17.68.150)
2.	BD	Building Permits are required for all non-exempt structures being constructed on this project site pursuant to Section 105 of the California Building Code. (TCOC, Section 17.68.150)
3.	ED	Secure a Grading Permit from the Engineering Division of Department of Public Works (DPW) prior to any grading, excavating or earthmoving on the site or associated with this project (TCOC, Section 12.20.050).

LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

4.	LU	Development shall comply with the policy and regulation of the Tuolumne Utilities District and Jamestown Sanitary District for water and sewer utility service. (TCOC, Section 17.68.150)
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Conditions to be met prior to the issuance of a Grading Permit:

5.	ED	Grading Plan shall be submitted to the Engineering Division of the Department of Public Works for review and approval (TCOC, Section 12.20.140).
6.	ED/LU	An Encroachment Permit shall be obtained from the Engineering Division of the Department of Public Works for any work that may be proposed within the County Road right-of-way along Seco Street and/or Main Street (TCOC, Section 12.04).
7.	ED/LU	A parking area plan shall be submitted to the Engineering Division of DPW for review and acceptance. Plans shall address internal traffic circulation, parking stall layout and include necessary striping, marking, and signing. All parking areas and traveled ways on the site shall be paved, striped and lined in accordance with approved plans. The parking plan shall be submitted in connection with the site grading and drainage plans. (TCOC, Section 17.60.020 and Section 17.68.150)
8.	ED	A Drainage Plan shall be required (TCOC Sections 11.04.050E; 12.20.300-12.20.360; 16.26.180).
9.	ED	Prior to the construction of any site improvements or grading on the site, all property corners shall be monumented and clearly visible. Where a clear line of sight between lot corners is not possible, appropriate markers shall be set along the property line to mark the boundaries while construction is in progress (TCOC, Section 12.20).
10.	ED	The applicant shall submit an erosion control plan for any construction to take place (TCOC, Title 12).

Conditions to be met prior to the issuance of a Building Permit:

11.	BD	This project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), and Chapters 11A and/or 11B of the California Building Code as applicable. (TCOC, Section 17.68.150)
12.	LU	Prior to the installation of any exterior lighting, a lighting plan shall be submitted to the Land Use and Natural Resources (LUNR) Division of CDD for review and approval. The lighting plan shall meet the following standards: direct the light downward to the area to be illuminated, install shields to direct light and reduce glare, utilize low rise light standards or

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ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
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		fixtures attached to the buildings, and utilize low or high pressure sodium lamps or LED lighting instead of halogen type lights. The lighting plan shall comply with the International Dark Sky Association standards and fixtures shall have the International Dark Sky Fixture seal of approval. The Lighting Plan shall also comply with the Jamestown Design Guidelines and shall be directed downward, be energy-efficient, and should resemble historic fixtures and materials. (TCOC, Section 17.68.150)
13.	LU	Submit a Signage Plan to the LUNR Division of the CDD prior to the installation of any signage on site. The signage shall comply with all applicable provisions of Chapter 17.62 of the TCOC and the Jamestown Design Guidelines. (TCOC, Chapter 17.62)
14.	LU	Submit a landscaping plan with the building permit submittal consistent with the landscape plan as approved by Tuolumne County under the Site Development Permit and consistent with the Jamestown Community Plan. (TCOC, Chapter 15.28; Jamestown Community Plan)
15.	AG	All hay, straw, hay bales, straw bales, seed, mulch or other material used for erosion control or landscaping on the project site shall be free of noxious weed seeds and propagules. Noxious weeds are defined in Title 3, Division 4, Chapter 6, Section 4500 of the California Code of Regulations and the California Quarantine Policy - Weeds. (Food and Agriculture Code, Sections 6305, 6341 and 6461)
16.	AG	All equipment brought to the project site for construction shall be thoroughly cleaned of all dirt and vegetation prior to entering the site, in order to prevent importing noxious weeds. (Food and Agriculture Code, Section 5401)
17.	AG	All material brought to the site, including rock, gravel, road base, sand, and topsoil, shall be free of noxious weed seeds and propagules. Noxious weeds are defined in Title 3, Division 4, Chapter 6, Section 4500 of the California Code of Regulations and the California Quarantine Policy - Weeds. (Food and Agriculture Code, Sections 6305, 6341 and 6461)
18.	SW	All solid waste from demolition or construction activities shall be disposed of at facilities authorized by the County Board of Supervisors by Resolution 183-04, including the Cal Sierra Materials Recovery Facility (MRF), the Pinecrest Transfer Station, or the Groveland Transfer Station. Solid waste that is not accepted at these facilities may be disposed of at an alternative facility that is permitted to receive the waste. (TCOC, Chapter 7.12)

Conditions to be met during the construction phase of the proposed project:

LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

19.	BD	Hours of exterior construction on the project site shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Exterior construction shall be prohibited on Sunday and County holidays. (TCOC, Section 17.68.150)
20.	LU	Pursuant to the request of the Tuolumne Me-Wuk Tribal Council, a Tribal Monitor shall be present during any ground disturbance. Proof of correspondence with the Tribe shall be provided to CDD staff. (TCOC Section 17.68.150)
21.	ED/LU	Care should be taken to not disturb or damage any of the "Walk of Fame" medallions in the existing street sidewalk along the project frontage. If the sidewalk portion fronting the project must be demolished for reconstruction, and a "Walk of Fame" medallion is to be impacted, the medallion shall be re-incorporated in the nearest sidewalk portion possible to its original location, but not in a segment of sidewalk that constitutes a driveway. Confer with the Tuolumne County Public Works Department for field fitting guidance and care of the medallions.
22.	ED	All soils disturbed by clearing and grubbing and/or grading shall be reseeded or hydro-mulched or otherwise stabilized as soon as possible, and emergency erosion control measures shall be utilized as requested by County officials (TCOC, Title 12).
23.	ED	All parking areas and traveled ways on the site shall be paved (TCOC, Section 17.60.070 C).
24.	ED	Commercial driveways, meeting the requirements of Title 11 for onsite roads must be paved and extended to within 150 feet of all portions of all buildings (TCOC, Section 11.16.020). a. Encroachments shall require an encroachment detail plan submitted for review and approval.
25.	ED	Drainage improvements shall be installed in accordance with approved drainage plans. (TCOC Sections 11.04, 11.12, 16.26.180)
26.	ED/APCD	Exposed serpentine gravel is prohibited on the project site, unless exempted pursuant to the Tuolumne County Air Pollution Control District Rules and Regulations, Regulation IX, Rule 904 Section (F) or Rule 908 Section (C) or (0)(3). No person shall use, apply, sell, supply, or offer for sale or supply any restricted material (as defined in subsection (1)(20) of Rule 904) for surfacing, unless it has been tested and determined to have an asbestos content that is less than 0.25 percent. Any roadway including road shoulders or any surface that is subject to vehicular travel or pedestrian access must be completely covered with non-restricted material. (California Health and Safety Code, Sections 93105 and 93106)
27.	BD/ED	The contractor shall be responsible for dust abatement during construction

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		and development operations. A water truck or other watering device shall be on the construction site on all working days when natural precipitation does not provide adequate moisture for complete dust control. Said watering device shall be used to spray water on the site at the end of each day and at all other intervals, as need dictates, to control dust. (TCOC, Section 12.20.370)
28.	LU	If a cultural resource is discovered during the activities authorized by this Permit, the person in possession of the parcel for which the permit was issued and all persons conducting any activity authorized by this permit shall comply with the following provisions: A. The person discovering the cultural resource shall notify the Community Development Department by telephone within 24 hours of the discovery or the next working day if the department is closed. B. When the cultural resource is located outside the area of disturbance, the Community Development Department shall be allowed to photo document and record the resource and construction activities may continue during this process. On parcels of two or more gross acres, the area of disturbance includes building pads, septic areas, driveways, or utility lines, grading and vegetation removal, plus 300 feet. On parcels of less than 2 gross acres, the area of disturbance equals the boundaries of the parcel. C. When the cultural resource is located within the area of disturbance, all activities that may impact the resource shall cease immediately upon discovery of the resource. All activity that does not affect the cultural resource as determined by the Community Development Department may continue. A qualified professional, as defined in Section 17.04.657 of the Tuolumne County Ordinance Code, such as an archaeologist or an historian, shall be allowed to conduct an evaluative survey to evaluate the significance of the cultural resource. D. When the cultural resource is determined to not be significant, the qualified professional or Community Development Department shall be allowed to photo document and record the resource. Construction activities may resume after authorization from the Community Development Department. E. When a resource is determined to be significant, the resource shall be avoided with said resource having boundaries established around its perimeter by a qualified professional archaeologist or historian or a cultural resource management plan shall be prepared by a qualified professional to establish measures formulated and implemented in accordance with Sections 21083.2 and 21084.1 of the California Environmental Quality Act (CEQA) to address the effects of construction on the resource. The qualified professional

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ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
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		shall be allowed to photo document and record the resource. Construction activities may resume after authorization from the Community Development Department. All further activity authorized by this permit shall comply with the cultural resources management plan. A cultural resource is any building, structure, object, site, district, or other item of cultural, social, religious, economic, political, scientific, agricultural, educational, military, engineering or architectural significance to the citizens of Tuolumne County, the State of California, or the nation which is 50 years of age or older or has been listed on the National Register of Historic Places, the California Register of Cultural Resources, or the Tuolumne County Register of Cultural Resources. (TCOC, Section 14.10.150)
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Conditions to be met prior to the Certificate of Occupancy by the Building and Safety Division of the Community Development Department:

29.	LU	The final project shall meet all requirements mandated by federal, state, or local law. Federal or state law may require additional obligations beyond those required by these conditions or local requirements, including additional analysis of environmental or other issues, over which the County has no control. (TCOC, Section 17.68.150)
30.	ED	Any grading shall be completed in compliance with the Grading Permit issued by and the grading plans approved by the Engineering Division of the DPW. (TCOC, Chapter 12.20)
31.	LU/BD	All construction on the site shall adhere to the site plan approved by Tuolumne County. Any significant deviation from the plans shall require approval of supplemental plans submitted by the property owner. (TCOC, Section 17.68.150)
32.	LU	Exterior lighting shall conform to the lighting plan approved by the Community Development Department. (TCOC, Section 17.68.150)
33.	ED	Verify that a Road and/or Public Utility Easement a minimum of 25 feet in width from the existing centerline of Seco Street as it abuts the project property has been dedicated. (TCOC, Section 17.68.150)
34.	EH	A valid permit to operate a food facility shall be issued by the Environmental Health Division of the Community Development Department prior to the operation of any proposed food facility. (CHSC Part 7, Section 114381)
35.	LU	A site inspection will be conducted by Community Development Division personnel to verify compliance with the conditions listed

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		above. (TCOC, Section 17.68.150)
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On-Going Conditions:

36.	EH	All storage and removal of refuse, rubbish, and recyclables shall be in compliance with the requirements specified in TCOC, Chapter 8.05 and CCR Title 14 and Title 27. (TCOC, Chapter 8.05)
37.	SW	Excepting disruptions in normal refuse collection schedules, refuse shall not be allowed to remain on the premises for more than seven days unless it is satisfactorily composted, used as animal food, used as soil amendments, or some other beneficial use provided such use does not create a nuisance. (TCOC, Section 8.05.035)
38.	SW	Persons hauling solid waste from their residence or solid waste produced in the course of their own business (including building contractors) are required to deliver solid waste only to facilities identified and authorized by the Tuolumne County Board of Supervisors by Resolution, including the Cal Sierra Transfer Station, the Pinecrest Transfer Station, or the Groveland Transfer Station. (TCOC, Section 7.12.050)
39.	SW	If a business located on the project site generates more than four (4) cubic yards of solid waste per week, recycling is required, even if this quantity of generation happens only occasionally. Recycling can include subscribing to recycling service provided by the franchise hauler of the collection area, self-hauling recyclables to a recycling center, or donating recyclables to a charitable cause. Space shall be included on the project site for recycling and garbage receptacles. (Natural Resources, Division 7, Chapter 9.1, Sections 18835- 18837)
40.	EH	The handling, use or storage of hazardous materials on-site both in construction and operation of the facility shall be in compliance with Chapter 13.24 of the Tuolumne County Ordinance Code, Chapter 6.95 of the California Health and Safety Code, and Title 19 of the California Code of Regulations. The handling, storage or use of hazardous materials, above threshold quantities, shall be permitted by the Tuolumne County Environmental Health Division, Certified Unified Program Agency (CUPA). (TCOC, Chapter 13.24, CHSC, Chapter 6.95, and CCR, Title 19)
41.	EH	All persons selling, preparing, delivering, or serving food or beverages shall comply with all applicable provisions of the California Retail Food Code. (TCOC, Section 17.220(C)(16))
42.	LU	The noise levels generated by the project shall be restricted to the following exterior noise limits as measured at the property line as follows:

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ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
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			Zoning Classification of Receiving Property	Noise Level (dB) of Sound Source	
				Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
			MU, R-3, R-2, R-1, RE-1, RE-2, RE-3, RE-5, RE-10, C-O, C-1, C-S, BP	50 L _{eq.} (1 hour) ¹	45 L _{eq.} (1 hour) ¹
¹ L _{eq.} 1 hour refers to the average noise level measured over a one hour period. (TCOC, Section 17.68.150)					
43.	LU	All signage shall comply with Chapter 17.62 of the Tuolumne County Ordinance Code. (TCOC, Section 17.68.150)			
44.	LU	Fuel oil shall not be used as a heating source. (TCOC, Section 17.68.150)			

MONITORING PROVISION: A Notice of Action shall be recorded for Conditions 1 through 44 to notify all owners of this parcel of the conditions of this entitlement and these responsibilities. Any violations observed by the Community Development Department and Department of Public Works during regular site inspections or in response to complaints shall be referred to the agency having jurisdiction over the condition for resolution or referred to the Code Compliance Officer for enforcement. (PRC, Section 21081.6; TCOC Section 17.68.150)

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LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

California Department of Transportation

OFFICE OF THE DISTRICT 10 PLANNING
P.O. BOX 2048 | STOCKTON, CA 95201
(209) 948-7325 | FAX (209) 948-7164 TTY 711
www.dot.ca.gov



January 3, 2022

Ms. Cheydi Gonzales
Land Use Coordinator
Tuolumne County Community
Development Department
2 South Green Street
Sonora, CA 95370

TUO-49-PM 14.554
Zone Change RZ21-013
Site Development Permit SDP21-007
Conditional Use Permit CUPH21-002
John Gray

Dear Ms. Gonzales,

The California Department of Transportation (Caltrans) appreciates the opportunity to review and comment on the application for Zone Change RZ21-013 to rezone a 0.19± acre parcel from General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining (C-1:D:H:HDP:MX) to Mixed Use: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining (M-U:D:H:HDP:MX) district under Title 17 of the Tuolumne County Ordinance Code. Site Development Permit SDP21-007, and Historic Conditional Use Permit CUPH21-002 restore the exterior façade of the existing gas station building, construct a new standalone bathroom building containing two accessible bathrooms, restore exterior façade of existing bathroom building for storage use, demolish existing wooden barn and construct three stall parking area, remove existing asphalt and concrete surfacing between gas station and main street, and construct new concrete surface.

The project is located at 18223 Main Street in the community of Jamestown. It is approximately 1200 feet from State Route (SR) 49/108 and Main Street intersection, on Assessor Parcel Number (APN) 003-112-006.

Caltrans has the following comments:

- Caltrans would like to request any CEQA Environmental documents that you may have for the Zone Change RZ21-013, Site Development Permit SDP21-007 and Historic Conditional Use Permit CUPH21-002.

An Encroachment Permit will be required for work (if any) done within Caltrans' right of way (ROW). This work is subject to the California Environmental Quality Act. A qualified professional must conduct any such studies undertaken to satisfy Caltrans' environmental review responsibilities. Ground disturbing activities to the site prior to

completion and/or approval of required environmental documents may affect Caltrans' ability to issue a permit for the project. Furthermore, if engineering plans or drawings will be part of the permit application, they should be prepared in standard units. The project proponent shall submit an Encroachment Permit to the Caltrans District 10 Encroachment Permit Office. Appropriate environmental studies must be submitted with the application. For more information please visit the Caltrans Website at: <https://dot.ca.gov/programs/traffic-operations/ep/applications>

If you have any questions or concerns, please contact Michael Casas at (209) 986-9830 (email: Michael.Casas@dot.ca.gov) or me at (209) 483-7234 (email: Gregoria.Ponce@dot.ca.gov).

Sincerely,

A handwritten signature in black ink that reads "Gregoria Ponce". The script is cursive and fluid.

Gregoria Ponce', Chief
Office of Rural Planning

Location: The project site is located at 18211 Main Street in the community of Jamestown approximately 20± feet northeast of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

Access: Main Street/Seco Street

Sewage Disposal Method: Public Sewage Disposal System

Water Source: Public Water System

Fire Hazard Rating: Moderate

Please return your comments by **January 5, 2022**. Please note that email is the preferred method of communication.

Staff Contact: Cheydi Gonzales
(209) 533-6641
cgonzaless@co.tuolumne.ca.us

AGENCY: Tuolumne Heritage Committee

COMMENTS: If the barn proposed to be demolished is in
excess of 50 years old, the Demolition Committee of the
TCHPRC needs to review the application. Please refer to
Jamestown Design Guidelines in reviewing this project.

All property owners within 300 feet of the proposed project and agencies/organizations will be notified of future public hearings. Property owners do not need to request future notification.

Signed by: Shawn M. [Signature] 1/2/22
Tuolumne Heritage Committee

Location: The project site is located at 18211 Main Street in the community of Jamestown approximately 20± feet northeast of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

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Sewage Disposal Method: Public Sewage Disposal System

Water Source: Public Water System

Fire Hazard Rating: Moderate

Please return your comments by **January 5, 2022**. Please note that email is the preferred method of communication.

Staff Contact: Cheydi Gonzales
(209) 533-6641
cgonzales@co.tuolumne.ca.us

AGENCY: JAMESTOWN SANITARY DISTRICT

COMMENTS: _____

AS NOTED IN ITEM 2.

THE JAMESTOWN SANITARY DISTRICT HAVE NOT RECEIVED
ANY PRELIMINARY PLANS OR INFORMATION IN
PROVIDING NEW SEWER SERVICE TO SITE FOR
JSD APPROVAL.

THANK YOU.

NOTE: RECEIVED THIS ON 01-04-2022. WE CAN ACCEPT VIA EMAIL.

All property owners within 300 feet of the proposed project and agencies/organizations will be notified of future public hearings. Property owners do not need to request future notification.

Signed by _____

Petragi Gonzales DISTRICT MANAGER

RECEIVED

JAN 04 2022

JAMESTOWN
SANITARY DISTRICT

Agency: JAMESTOWN SANITARY DISTRICT

Date: 01-04-2022

S:\Planning\PROJECTS\Site Development Permit\2021\SDP21-007 (CUPH21-002) Gray\Application Review\Stakeholder Notification.docx



TUOLUMNE ME-WUK TRIBAL COUNCIL

Post Office Box 699

TUOLUMNE, CALIFORNIA 95379

Telephone (209) 928-5300

Fax (209) 928-1677

January 4, 2022

Cheydi Gonzales
Tuolumne County Community Development Department
48 Yaney Avenue
Sonora, CA 95370

RE: Zone Change RZ21-013

Site Development Permit SDP21-007

Historic Conditional Use Permit CUPH21-002

Assessor's Parcel Number: 003-112-006

RECEIVED
JAN 11 2022
Community Development
Department

Dear Ms. Gonzales,

We are in receipt of your communication dated December 22nd, 2021 regarding the above referenced project. Upon reviewing said documentation we do have some concerns regarding how the project will tie into the existing infrastructure and if updates to that system could cause ground disturbance. I would also like to introduce our new Cultural Resource Manager Kyle Cox. He can be reached by email at: kyle@mewuk.com or by phone: 209.928.5300.

Thank you for keeping us updated.

Best regards,

Andrea Reich

Chairwoman

Cheydi Gonzales

From: Cheydi Gonzales
Sent: Tuesday, January 11, 2022 1:30 PM
To: Kyle Cox
Subject: RE: RZ21-013/SDP21-007/CUPH21-002

Greetings Kyle,

There is not a start date for this project. I am currently reviewing this project through the appropriate permitting process per ordinance code. This project would need to be reviewed by the Historic Preservation Review Commission (as a recommending body), then be reviewed by the Tuolumne County Board of Supervisors and the Board of Supervisors.

It may be possible to condition the permit to meet this request. I will make note of the request and will continue to work with you on this matter.

Thank you,

Cheydi Gonzales, Land Use Coordinator

Land Use and Natural Resources Division
Tuolumne County Community Development Department
48 Yaney Avenue
Sonora, CA. 95370
Email: cgonzales@co.tuolumne.ca.us
Website: <https://www.tuolumnecounty.ca.gov/179/Planning>
Phone: (209) 533-6641

From: Kyle Cox <kyle@mewuk.com>
Sent: Thursday, January 6, 2022 3:54 PM
To: Cheydi Gonzales <cgonzales@co.tuolumne.ca.us>
Subject: RE: RZ21-013/SDP21-007/CUPH21-002

Good afternoon,

Thank you for the updated information. We would like to have one of our Cultural monitors at the project site when the ground disturbance takes place. Is there a start date for the project yet?

Regards,

Kyle Cox, Cultural Resource Manager
Tuolumne Me-Wuk Tribal Council
19595 Mi-Wu Street
Tuolumne, CA, 95379

From: Cheydi Gonzales <cgonzales@co.tuolumne.ca.us>
Sent: Thursday, January 6, 2022 1:10 PM
To: Kyle Cox <kyle@mewuk.com>
Subject: RE: RZ21-013/SDP21-007/CUPH21-002

Greetings Kyle,



Cooperative Fire Protection Services

In Partnership with **CAL FIRE** Since 1977

Proudly serving the County of Tuolumne, Jamestown, Groveland and Columbia College

Nick Casci, County Fire Chief
Andrew Murphy, Assistant County Fire Chief

18440 Striker Ct. • Sonora, CA 95370
Tel: (209) 533-5100 • Fax: (209) 533-5103

January 7, 2022

To: Cheydi Gonzales, LUNR

From: Steve Gregory, Senior Fire Inspector

Re: Gray SDP-007
APN 003-112-006

After reviewing the above application, I offer the following comments:

Fire Prevention has no comment on SDP21-007 as proposed.

If you have any questions or concerns, please feel free to contact me.

Building and Safety Conditions for SDP21-007

1. This project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), and Chapters 11A and/or 11B of the California Building Code as applicable.
2. Building Permits are required for all Non-Exempt structures being constructed on this project site pursuant to Section 105 of the California Building Code.
3. Hours of construction on the project site shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction shall be prohibited on Sunday and County holidays. Exceptions to these hours this condition may be authorized by the Community Resources Director. (TCOC, Sections 12.20.380 and 17.68.150)



Department of Public Works

Kim MacFarlane, P.E.
Director

48 W. Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
209.533.5601
www.tuolumnecounty.ca.gov

MEMORANDUM

Date: December 17, 2021

To: Cheydi Gonzales, Planner

From: David Ruby, Engineer

Re: RZ21-013 / SDP21-007 / CUPH21-002, Gray
Assessor's Parcel No.: 003-112-006

AIRPORTS
Airports Manager
Benedict Stuth
209.533.5685

BUSINESS
Senior Accountant
Janelle Kostlivy
209.533.5972

ENGINEERING
Supervising Engineer
Blossom Scott-Heim, P.E.
209.533.5904

FLEET SERVICES
Fleet Services Manager
Mike Young
209.536.1622

**GEOGRAPHIC
INFORMATION
SYSTEMS**
GIS Coordinator
Madeline Amlin
209.533.6592

ROAD OPERATIONS
Road Superintendent
Mike Cognetti
209.533.5609

SOLID WASTE
Solid Waste Manager
Jim McHargue, REHS
209.533.5588

SURVEYING
County Surveyor
Warren Smith, L.S.
209.533.5626

This project seeks to rezone an existing parcel within the Jamestown Historic Design Review area from C:1:D:H:HDP:MX to M-U:D:H:HDP:MX as action RZ21-013, as well as SDP21-007 and CUPH21-002, covering an exterior façade remodel of an existing gas station building and outbuilding, along with the construction of a new restroom outbuilding, demolition of an existing wood barn, and construction of a new paved parking lot area, with associated sitework improvements (sidewalks, landscaping, fencing, and water, sewer, and electrical services, etc.). An encroachment onto Seco Street is proposed for the new parking lot, which may require use or modification in part of an existing commercial-type driveway currently existing in the street sidewalk along Seco Street. The existing street sidewalk along the frontage has a commercial-type driveway depression constructed in it at its eastern end, which should be widened as required to provide the full width of the commercial driveway throat, and another aligning with an existing gate nearer the gas station building, which should be sawcut and removed, to delete the implied driveway along that portion of frontage. The proposed parking lot area should conform to the geometric requirements of the Tuolumne County Ordinance Code Sections 11.12 and 11.16, including provision of asphaltic concrete surfacing.

The following conditions apply to this Site Development Permit:

1. A Grading Plan shall be submitted to the Engineering Division of the Department of Public Works for review and approval (TCOC, Section 12.20.140).
2. A Grading Permit shall be obtained from the Engineering Division of the Department of Public Works prior to any grading (TCOC, Section 12.20.050).
3. A Drainage Plan shall be required (TCOC Sections 11.04.050E; 12.20.300-12.20.360; 16.26.180).
4. An Encroachment Permit shall be obtained from the Engineering Division of the Department of Public Works for any work that may be proposed within the County road right-of-way along Seco Street and/or Main Street (TCOC, Section 12.04).
5. A Parking Area Plan (TCOC, Sections 17.68.150; 17.60).
 - a. The parking area plan shall be submitted to the Engineering Division of the Department of Public Works for review and acceptance. Plans shall address internal traffic circulation, parking stall layout and include necessary striping, marking and signing. All parking areas and traveled ways on the site shall be paved, striped and lined in

accordance with approved plans. The parking plan shall be submitted in connection with the site grading and drainage plans.

6. Prior to the construction of any site improvements or grading on the site, all property corners shall be monumented and clearly visible. Where a clear line of sight between lot corners is not possible, appropriate markers shall be set along the property line to mark the boundaries while construction is in progress (TCOC, Section 12.20).
7. All soils disturbed by clearing and grubbing and/or grading shall be reseeded or hydro-mulched or otherwise stabilized as soon as possible, and emergency erosion control measures shall be utilized as requested by County officials (TCOC, Title 12).
8. The applicant shall submit an erosion control plan for any construction to take place (TCOC, Title 12).
9. All parking areas and traveled ways on the site shall be paved (TCOC, Section 17.60.070 C).
10. Commercial driveways, meeting the requirements of Title 11 for onsite roads must be paved and extended to within 150 feet of all portions of all buildings (TCOC, Section 11.16.020).
 - a. Encroachments shall require an encroachment detail plan submitted for review and approval.
11. Drainage improvements shall be installed in accordance with approved drainage plans. (TCOC Sections 11.04, 11.12, 16.26.180)
12. Exposed serpentine gravel is prohibited on the construction site. (17 California Code of Regulations, Section 93106)
13. The Contractor shall be responsible for dust abatement during construction and development operations. A water truck or other watering device shall be on the project site on all working days when natural precipitation does not provide adequate moisture for complete dust control. Said watering device shall be used to spray water on the site at the end of each day and at other intervals, as need dictates, to control dust (TCOC, Section 12.20.370).
14. Verify that a Road and/or Public Utility Easement a minimum of 25 feet in width from the existing centerline of Seco Street as it abuts the project property has been dedicated. (TCOC, Section 17.68.150)
15. Care should be taken to not disturb or damage any of the "Walk of Fame" medallions in the existing street sidewalk along the project frontage. If the sidewalk portion fronting the project must be demolished for reconstruction, and a "Walk of Fame" medallion is to be impacted, the medallion shall be re-incorporated in the nearest sidewalk portion possible to its original location, but not in a segment of sidewalk that constitutes a driveway. Confer with the Tuolumne County Public Works Department for field fitting guidance and care of the medallions.



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

Date: December 22, 2021
To: Interested Stakeholder
From: Tuolumne County Community Development Department
RE:
Zone Change RZ21-013
Site Development Permit SDP21-007
Historic Conditional Use Permit CUPH21-002
Assessor's Parcel Number: 003-112-006

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 533-5616 (Fax)
(209) 533-5909 (Fax – EHD)
www.tuolumnecounty.ca.gov

The Community Development Department thanks you for your participation in the land development process in Tuolumne County. We value your comments and look forward to your continued participation in our planning process. This process provides information on your requirements and concerns to the applicant early in the review process. Involvement on your part can eliminate or minimize problems that could arise later.

Property Owner: John Gray

Applicant: Reuben Chirnside, Agent/Project Engineer

Land and Structure
105 South Stewart Street
Sonora, CA. 95370
209-532-5173

Project: The Community Development Department (CDD) has received an application for the following:

1. Zone Change RZ21-013 to rezone a 0.19± acre parcel from C-1:D:H:HDP:MX (General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) to M-U:D:H:HDP:MX (Mixed Use: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code.
2. Site Development Permit SDP21-007 and Historic Conditional Use Permit CUPH21-002 restore the exterior façade of the existing gas station building, construct a new stand alone bathroom building containing two accessible bathrooms, restore exterior façade of existing bathroom building for storage use, demolish existing wooden barn and construct three stall parking area, remove existing asphalt and concrete surfacing between gas station and main street and construct new concrete surface, construct new concrete patio being gas station and accessible pathway to parking area, install new landscaping at the intersection of Main Street and Seco Street and install perimeter fencing as shown on site plan. Provide new water, sewer and electrical service to the site. A section of the center of the property is to be left as a gravel surface pending future development.

Agency: Tuolumne County Environmental Health Division

Date: 2/2/2022

S:\Planning\PROJECTS\Site Development Permit\2021\SDP21-007 (CUPH21-002) Gray\Application Review\Stakeholder Notification.docx

Building and Safety Conditions for SDP21-007

1. This project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), and Chapters 11A and/or 11B of the California Building Code as applicable.
2. Building Permits are required for all Non-Exempt structures being constructed on this project site pursuant to Section 105 of the California Building Code.
3. Hours of construction on the project site shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction shall be prohibited on Sunday and County holidays. Exceptions to these hours this condition may be authorized by the Community Resources Director. (TCOC, Sections 12.20.380 and 17.68.150)



TUOLUMNE UTILITIES DISTRICT

18885 Nugget Blvd. | Sonora, CA 95370
(209) 532-5536 | www.tudwater.com

August 5, 2022

Tuolumne County Community Resources Agency
Attn: Cheydi Gonzales
2 S. Green St.
Sonora, CA 95370

RE: RZ21-013, SDP21-007, CUPH21-002, APN: 003-112-006.

To Whom It May Concern:

The following is in response to your letter to advisory agencies dated December 22, 2021. This letter is not a commitment to serve the proposed project; rather, it is to advise the County that the District could legally serve the proposed project and to provide information to assist the County regarding the District's water and sewer facilities. Water and/or sewer capacity is not reserved for the project until all capacity fees have been paid. The District is not obligated to serve the development until certain conditions are fulfilled, some of which are listed below. The project proponent is advised to contact the District as soon as possible to discuss the conditions of service and the associated fees.

WATER SYSTEM INFORMATION and CAPACITY

The provision of water service to the project requires sufficient water supply, treatment, storage, and distribution facilities. The District will collect capacity fees based on the project's estimated water demands. Those fees are intended to reimburse the District for the value of the water supply, treatment, and storage capacity that will be consumed by the project and will allow the District to fund improvements to increase capacity to be ready to serve future development. The cost to construct any pipelines necessary to connect the project to the District's existing water system, are the responsibility of the project proponent.

Water Supply Capacity: South Fork Stanislaus River via Phoenix Lake - Adequate capacity exists.

Water Treatment Capacity: Sonora Water Treatment Plant - Adequate capacity exists.

Water Storage Capacity: Jamestown Tank - Adequate capacity exists.

Water Pumping Capacity: Not Applicable.

Water Distribution Capacity: A 6-inch District water main is located within the Seco St right of way right-of-way adjacent to the proposed project site. A 10-inch District water main is located within the Main St right of way right-of-way adjacent to the proposed project site. The property is currently served by water service of unknown size located at the Main St. right-of-way with an active utility billing account.

The Project proponent must furnish information from the local fire authority regarding the required fire flow and duration before the District can determine if the existing distribution system has adequate capacity to meet the project needs.

SEWER SYSTEM INFORMATION and CAPACITY

The Tuolumne Utilities District does not provide sewer service to this area. The project site is located within the service area of the Jamestown Sanitary District.

Sewer Collection Capacity: Not Applicable.

Sewer Treatment Capacity: Not applicable.

Sewer Disposal Capacity: Regional Reclamation System-Adequate Capacity Exists

CONDITIONS OF SERVICE:

Water

1. Water Service(s): The project proponent would be required to cover any costs associated with adding, relocating and/or upsizing water facilities/services required to serve the development including abandonment of water facilities/services not utilized by the project.
2. Backflow Devices: The project proponent may be required to construct a back-flow device at each water service and/or verify the existing back-flow devices meet current District standards. It is the property owner's responsibility to maintain and conduct annual testing of these devices.

Sewer

3. Sewer Service(s): Not Applicable.

General

4. Water Capacity Charges: Prior to service by the District, the project proponent would be required to pay all applicable fees and charges. In cases where it is determined that existing District facilities do not contain sufficient capacity to serve the project, the project proponent would be required to construct or improve District facilities before service can be provided. The project proponent is advised to contact the District at the early stages of project development for an estimate of these fees and/or charges. Fees and/or charges are subject to increases on July 1st annually.

Regards,

A handwritten signature in blue ink, appearing to read 'Antonio J. Ramirez', is written over the printed name.

Antonio J. Ramirez
Engineering Services Technician
(209) 532-5536 Ext. 511

DATE: September 1, 2022

**SURFACE/MINERAL
RIGHTS OWNER:** Paul Johnson

APPLICANT: Paul Johnson

PROJECT AND LOCATION

**PROJECT
DESCRIPTION:** Historic Conditional Use Permit CUPH21-003 to allow development of a Single Family Dwelling (SFD), a shed and a fence on a 2.85± acre parcel zoned M-U:D:H:MX (Mixed Use:Design Review:Historic:Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code.

LOCATION: The project site is located at 10269 Donovan Street, approximately 254± feet east of the intersection of Main Street and Donovan Street in the community of Jamestown. The project site is located within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-210-031.

GENERAL PLAN: The General Plan land use designation for the site is MU (Mixed Use). Table 1.3 of the General Plan indicates that the M-U zoning district and all combining districts are compatible with the MU land use designation. The H overlay districts are compatible with all land use designations. Therefore, the requested Historic Conditional Use Permit may be found consistent with the Tuolumne County General Plan.

ENVIRONMENTAL EVALUATION

After reviewing the project and its setting, the Environmental Coordinator for the County of Tuolumne has determined that the project is exempt from review under the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) of the *State CEQA Guidelines*. The project consists of a single-family dwelling (SFD) and an accessory dwelling unit (ADU). One single-family residence, or a second dwelling unit in a residential zone and in an urbanized area, up to three single-family residences may be constructed or converted under this exemption. The MU zoning district is considered an urban designation in the Tuolumne County General Plan. All public services are readily available to serve the project. None of the exceptions to the use of a categorical exemption found in Section 15300.2 of the *State CEQA Guidelines* apply to this project.

RECOMMENDATION

Community Development Department Staff recommends approval of Conditional Use Permit CUPH21-003 based upon the following findings and subject to Conditions 1 through 27:

A. The proposed project is consistent with the Tuolumne County General Plan.

- B. The proposed project is in accordance with the Tuolumne County Ordinance Code.
- C. The proposed use will not overburden existing municipal facilities.
- D. The size and terrain of the project site are suitable for the proposed use.
- E. Under the circumstances of the particular case, the proposed use will not be substantially detrimental to the health, safety or general welfare of the persons residing or working in the neighborhood of such proposed use, or be substantially detrimental or injurious to property and improvements in the area.
- F. The project conforms to the Jamestown Design Guidelines and to the principles in Section 17.46.070.
- G. The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) of the State CEQA Guidelines.

GENERAL INFORMATION

Site Description

1. The project site is located at 10269 Donovan Street in the community of Jamestown. The subject property is undeveloped with a gravel driveway going from the base of the property at road level to the top of the parcel.
2. The Tuolumne County Wildlife Habitat Maps indicate that the project site contains residential park (rsp) habitat. The residential park habitat type is the designation for urbanized areas, including residential, commercial, and industrial developments, as well as landscaped parks and gardens. The Tuolumne County Wildlife Handbook indicates that the rsp habitat type is considered a fourth priority habitat. Fourth priority habitats are areas of relatively low value to wildlife. Most uses would be allowed within the rsp habitat without wildlife mitigation. There is no plant or animal species of concern observed in habitation at the site, confirmed by staff on a site visit; therefore, no mitigation for cumulative impacts to wildlife are required for Historic Conditional Use Permit CUPH21-003.

Project Description

3. Historic Conditional Use Permit CUPH21-003 is an application to develop a SFD, a fence, a shed and a fence within a Historic (:H) district. Applications in the (:H) overlay district requires review by the Historic Preservation Review Commission, with the Board of Supervisors making the final determination on the project. The applicants intend to also construct an accessory dwelling unit on the property. An ADU is considered a by right use and is not subject to the Historic Conditional Use Permit.
4. The project site is located within an area subject to the Jamestown Design Review guidelines, which can be found at the below link: <https://www.tuolumnecounty.ca.gov/182/Design-Review>.
5. The proposed site plan indicates that a manufactured home (1,440 square feet) is

proposed in the center of the property, and an accessory dwelling unit is proposed in the western portion of the site. The plans indicate a future garage and workshop; those are not a part of this application and will require a CUPH when proposed in the future. The elevations of the larger SFD show a gabled roof on the ends of the structure, and a dormer over the entry. Paint colors selected for the main house are a darker grey body, with putty fascia and off-white trim, and a dark gray shingled roof. The elevations for the ADU indicate a gable roof, inset and pillared front porch on one end of the structure, pale yellow vertical siding, off-white trim, and light grey accent color. The proposed shed features a gabled roof, accent window, decorative door trim, and will match the color scheme of the main house.

6. There are existing fences along portions of the southern and western property lines. One is an existing ornamental iron fence, and the other is a chain link fence with slats. The new fence will be constructed along the Seco Street frontage and part of the Donovan Street frontage, encompassing the proposed house site on the northeast half of the parcel, using 6-foot tall, black painted ornamental iron panels, between 7-foot tall 6"x6" pressure-treated wood posts. Panels will be racked to conform to existing slopes, as necessary, and will generally sit approximately 6 inches above existing grade. A 16-foot wide double-swing gate is proposed to be incorporated, at a location approximately halfway up the lot's driveway from Donovan Street, and will fasten to 30-inch square masonry pilasters with pyramidal stone caps and architectural finish. The gates will also be made of ornamental iron, featuring vintage-style trim, and will be painted black.

General Plan

7. The project site is designated Mixed Use (MU) by the Tuolumne County General Plan land use diagrams. The MU designation provides for a mixture of residential, commercial and recreational facilities in an urban setting. This designation is applied within urban areas where a mixture of these uses is desirable near transportation corridors, downtowns, defined community centers, major commercial centers, schools and community services. SFD and ADUs are permitted land uses under this designation. Table 1.3 of the Community Development and Design Element in Volume II of the 2018 General Plan indicates that the MU zoning district is compatible with the MU General Plan land use designation. Therefore, the proposed project is consistent with the Tuolumne County General Plan.

Jamestown Community Plan

8. The project site is within the area that is subject to the Jamestown Community Plan found in Volume III of the 2018 Tuolumne County General Plan. The proposed project is consistent with the following Goals, Policies, and Implementation Programs of the Jamestown Community Plan:

Policy JT-A.2: *Encourage all new development in the Design Review and Historic Design Preservation Combining Districts and along the State Highway 49/108 corridor to be designed in a manner that is compatible with Jamestown's historic character.*

Policy JT-A.3: *Require new development within the Design Review Combining District and encourage new development within the Historic Design Preservation Combining*

District to be compatible with the Jamestown Design Guidelines in order to preserve the historic character of Jamestown.

The project has been designed in accordance with the Jamestown Design Guidelines and incorporates historic design features, in accordance with Policies JT-A.2 and JT-A.3. Please see the “Jamestown Design” Section below in this report for specific ways in which the project meets these design criteria.

Tuolumne County Ordinance Code

9. The purpose of the mixed use (MU) district is to provide for a mixture of residential, commercial and recreational facilities in an urban setting. It is intended that this district be established within urban areas, where a mixture of these uses is desirable near transportation corridors, downtowns, defined community centers, major commercial centers, schools and community services. This district is not intended to provide shopping centers or major commercial developments of a community or regional nature. Development within this district shall be served with public water, public sewer, paved streets and adequate police and fire protection according to the policies of the general plan. The applicant has proposed development of a SFD and an ADU, both of which would be served by public utilities and are permitted uses within the MU zoning district.
10. The Project site contains an Historic Combining District (H) overlay. Pursuant to Tuolumne County Ordinance Code 17.44.060, a Use Permit must first be obtained before the construction or alteration of any building within this district, therefore the applicant applied for CUPH21-003.
11. The project site contains the Design Review Combining district. The :D district is intended to be combined with any other district in which it is desired to protect the overall appearance of the district. The purpose of design review is to ensure that in making changes to the appearance of a parcel, consideration will be given to the community context in which they take place and conscientious effort will be taken to develop a compatible relationship to the existing setting, neighboring properties and community design goals. The project site is located within an area subject to the Jamestown Design Guidelines and was therefore reviewed for consistency with the design criteria. Please see the “Jamestown Design” Section in this report for evidence as to how the project complies with the Jamestown Design Guidelines.

Jamestown Design

12. The project site contains the :D Combining zoning district and is therefore subject to the Jamestown Design Guidelines, even though a specific design review permit is not required. The project has been reviewed for consistency with the Jamestown Design Guidelines. Specifically, the following design criteria from the Jamestown Design Guidelines have been incorporated into the proposed project:

JOHNSON

Using a variety of architectural design features, such as adding a second story porch or roof, or break up the roofline by adding a gable roof or dormers. The buildings in Jamestown have gabled, hip, or flat roofs.	The ADU features a covered front porch that is elevated off the ground. All of the structures have gable roofs. The pillars adjacent to the gate are stone and the gate and fence are black ornamental iron.
Three dimensional architectural features which project out from the façades of new or modified buildings should be compatible with similar projections already common to existing buildings.	Apart from the ADU front porch, there are no three-dimensional features on the proposed buildings. Some buildings that are existing to the north of the site have three dimensional features and some do not.
Break up a large façade with a variety of historic colors and tone patterns. Brighter colors should be limited for use as accents.	The sides of the buildings contain multiple windows with shutters that break up the façades. Different color schemes are to be used on the SFD and ADU.
Use landscaping, such as trees and shrubs, to break up, screen and shade large parking areas.	There are existing trees along Donovan Street that will remain on the site which will help break up and screen the view of the property.
Construction materials used on the exterior of a new, modified or restored building should be compatible with the materials used on adjacent existing buildings and structures of the Design Review Area as a whole. One of the appropriate exterior materials is James Hardie siding.	The siding of the structure is wood with vertical placed boards similar to James Hardie siding.
The colors and tones used on new, modified or restored buildings should relate to the historic color palettes already established by adjacent buildings.	The color of the buildings vary, but are in line with others in the neighborhood.
Utilize and incorporate a variety of textures, such as brick, stone, painted or natural wood. These textures should be used in-lieu of metal.	The windows have shutters which add another visual accent in comparison to the siding.

Traffic and Access

13. Access to the project site is to be from existing Donovan Street, an existing County maintained road, via a gravel driveway, and will require work within the existing County Road right-of-way. This work will require the owner to obtain a Public Works Encroachment Permit.
14. The Engineering Division of the Public Works Department did not require a traffic study for the project because the anticipated level of traffic resulting from the project was not large enough to warrant a traffic study. For a Traffic Study to be required by the

Engineering Division, the peak afternoon trips would need to be greater than 50 vehicle trips per hour, or greater than 500 vehicle trips per day.

15. As determined by the Tuolumne County Board of Supervisors, the project proponent or subsequent developer is required to pay an appropriate Traffic Impact Mitigation Fee to mitigate the projects' impact on the County's circulation system, pursuant to Chapter 3.54 of the TCOC. The county traffic impact fees for single family detached dwellings on parcels that are over 2 gross acres is \$5,745 per dwelling unit. The fee for the ADU based on the size of the unit, which for this project is \$2,800.69. The total Traffic Impact Mitigation Fee is \$8,545.69. The payment of a County Service Impact Mitigation fee for emergency services which for this project is \$3,156.25. The Applicant will be conditioned to pay these fees prior to the issuance of a Certificate of Occupancy.

Utilities

16. The project site is located within the service boundaries of the Tuolumne Utilities District (TUD) for water services. TUD responded to the stakeholder letter, stating, "the provision of water service to the project requires sufficient water supply, treatment, storage, and distribution facilities. The District will collect capacity fees based on the project's estimated water demands. Those fees are intended to reimburse the District for the value of the water supply, treatment, and storage capacity that will be consumed by the project and will allow the District to fund improvements to increase capacity to be ready to serve future development. The cost to construct any pipelines necessary to connect the project to the District's existing water system, are the responsibility of the project proponent." Sewer would be provided by Jamestown Sanitary District (JSD). JSD did not provide a comment letter in response to the stakeholder notification they received.

Advisory Agency Responses

17. The proposed project has been reviewed by several State and County agencies. The responses from advisory agencies are addressed in this report below and the project Conditions of Approval.

Fire Prevention Division

The Tuolumne County Fire Prevention Division stated that the project needs to comply with Title 11 and 15 of Tuolumne County ordinance code.

Tuolumne Utilities District (TUD)

TUD's response was included in the utilities section above.

Adjoining Property Owners

18. A total of 63 property owners located within 500 feet of the project site were notified of the project via mail on June 1, 2022. The Community Development Department received one comment about the design, questions referring to the future use of the parcel, and questions about the driveway and garage.

Conditional Use Permit Findings

19. Section 17.68.050 of the TCOC requires that evidence be shown that the proposed project meets the necessary findings for a conditional use permit. Below are the required findings, and staff's responses to each point:

A. The proposed project is consistent with the Tuolumne County General Plan.

The MU land use designation allows the construction of residential structures, therefore the project is consistent with the General Plan.

B. The proposed project is in accordance with the Tuolumne County Ordinance Code.

The proposed project is consistent with the MU zoning district and is following the procedure to obtain a Historical Use Permit.

C. The proposed project will not overburden existing municipal facilities.

There are adequate facilities to serve the project, including water, sewer, and roads.

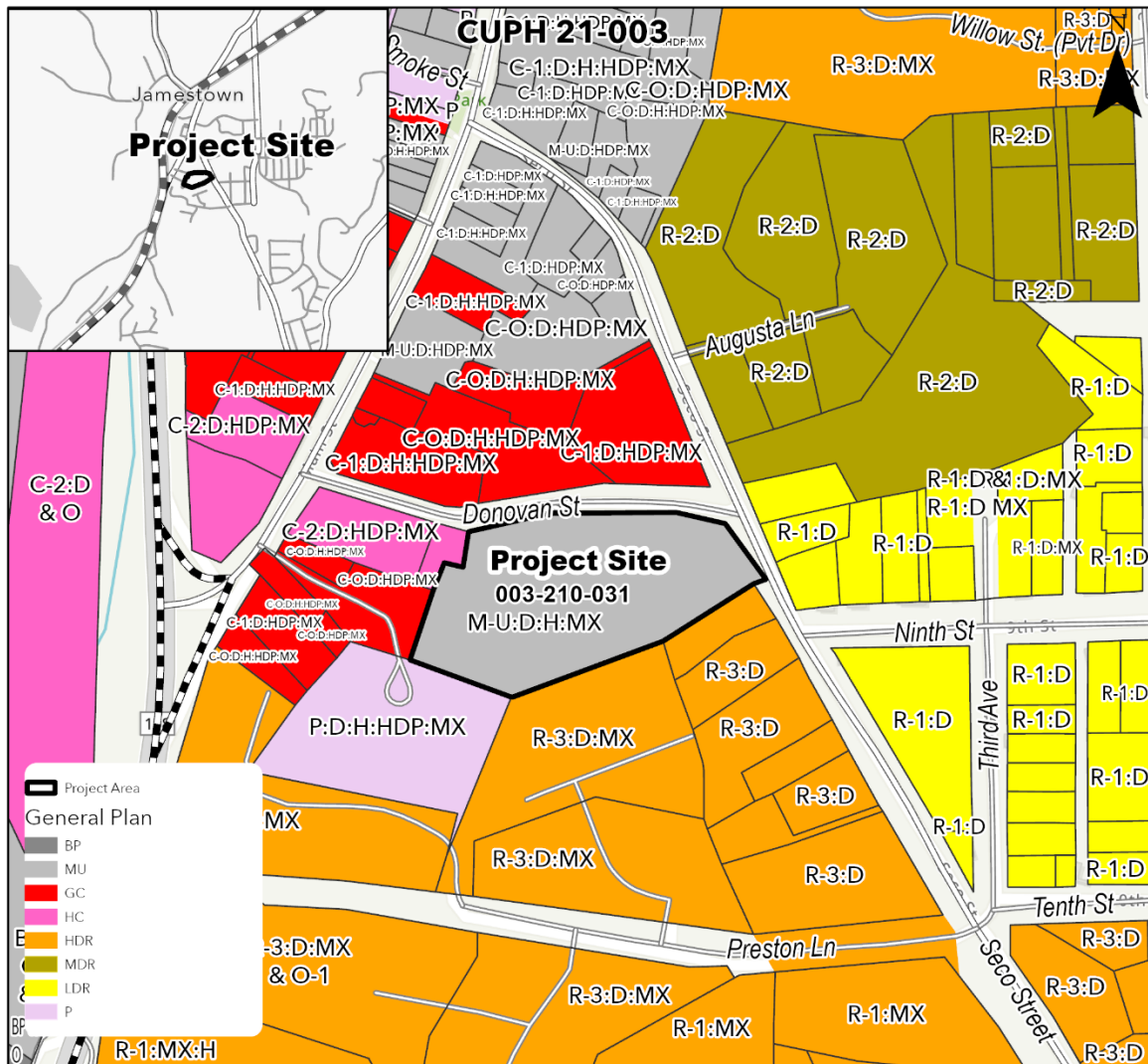
D. The size and terrain of the project site are suitable for the proposed use.

The proposed project is able to meet all of the required setbacks and the terrain, a sloped site, is suitable for the construction of the two dwelling units, shed, and fence.

E. The proposed project will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.

The development of an SFD and an ADU will not involve the use of hazardous materials. People living or working near the facility will not experience a decrease in their health, safety or welfare and there would be no substantially detrimental or injurious results to property or improvements in the neighborhood as a result of this project.

Figure 1. Agenda Map



Project: CUPH 21-003

Owner: Paul Johnson

Applicant: Paul Johnson

APN: 003-210-031

Acres: ± 2.85 Acres

Current Zoning: M-U:D:H:MX

Current General Plan Designation: MU

Project Description: 1. Historic Conditional Use Permit CUPH21-003 to allow development of a Single Family Dwelling (SFD), an Accessory Dwelling Unit (ADU), a shed and a fence on a 2.85± acre parcel zoned M-U:D:H:MX (Mixed Use: Design Review: Historic: Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code. 2. Notice of Exemption pursuant to Section 15303(a) of the State CEQA Guidelines.

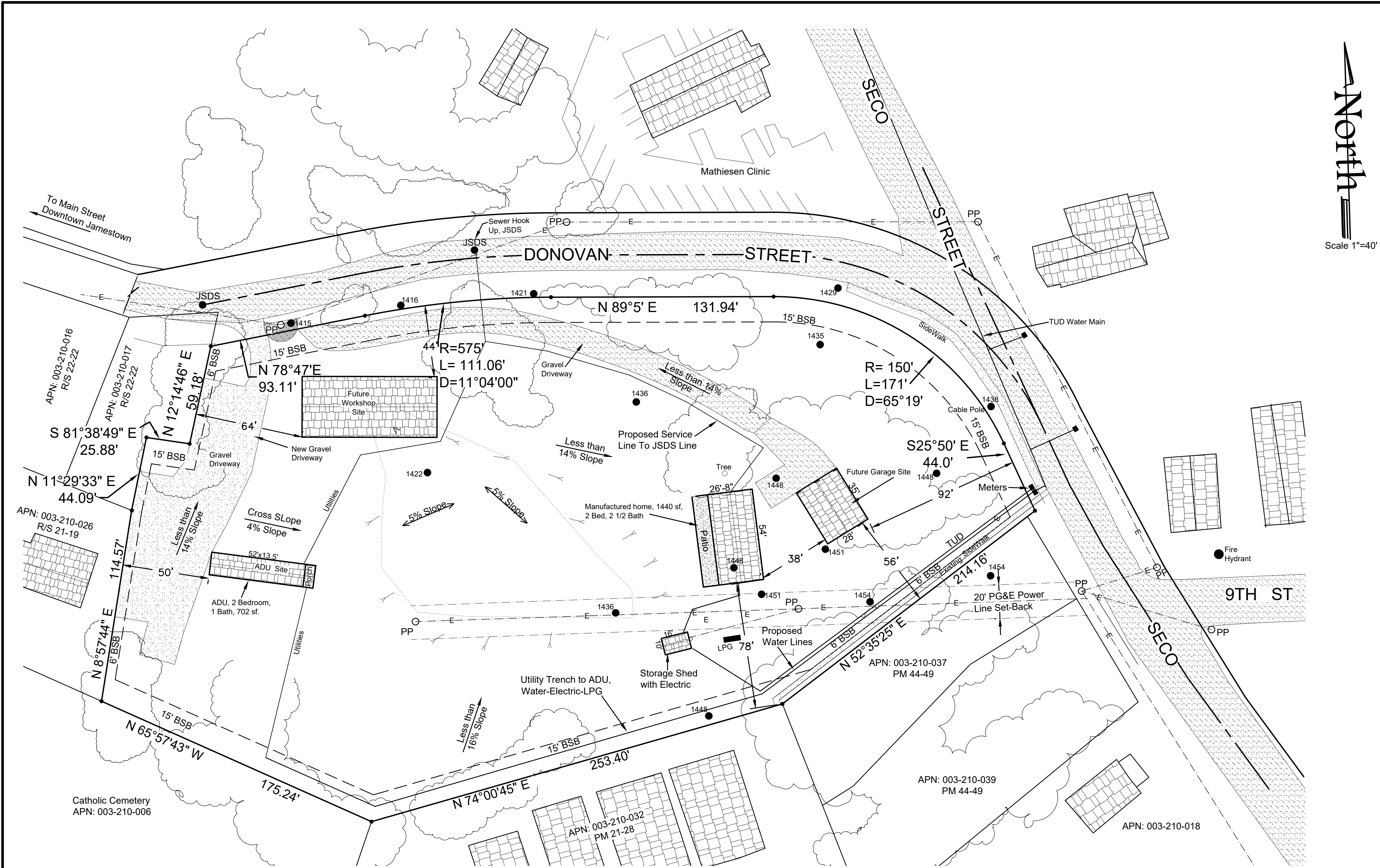
Path: X:\Planning\Temp_Shapefiles\CUPH21-003 Johnson\CUPH21-003 Johnson.aprx

Date Saved: 7/29/2022 3:20 PM

Figure 2. Site Plan



Plot Plan



THIS IS NOT A BOUNDARY SURVEY. PARCEL MAP 21-28, 29 WAS USED AS A REFERENCE FOR LOT LINE DIMENSIONS.

NOTE:
VERIFY LOCATION OF
EXISTING UTILITIES;
ELECTRIC, WATER AND
SEWER BEFORE
DIGGING

- LEGEND
- OPP POWER POLE
 - E OVERHEAD ELEC.
 - TREE LINE (BRUSH/BUSH)
 - 1448 ● Spot Elevation

Owner:: Paul Johnson
Mail Add:: 1436 Papoose Drive
Copperopolis, CA 95228
Phone: 209-822-0082
Site Add: 10269 Donovan Street,
Jamestown, CA 95327
APN: 003-210-031, 03.1 Ac.Gross, 2.8 Ac.Net
M.O.R. Parcel Map BK 21-PG 28 2.83AC Parcel A
Sewer: JSD
Water: TUDL
Schools: Jamestown Elementary, Sonora Union

REVISIONS	DATE

PLOT PLAN

OWNER:
Paul Johnson
1436 Papoose Drive, Copperopolis
Calaveras County, CA
Site APN: 003-210-310
PHONE: CONTRACTOR 209-984-5331

DRAWN:	PJ
DATE:	NOV. 2021
SCALE	as shown
JOB#:	2021-P.Johnson
SHEET	1
OF 1	

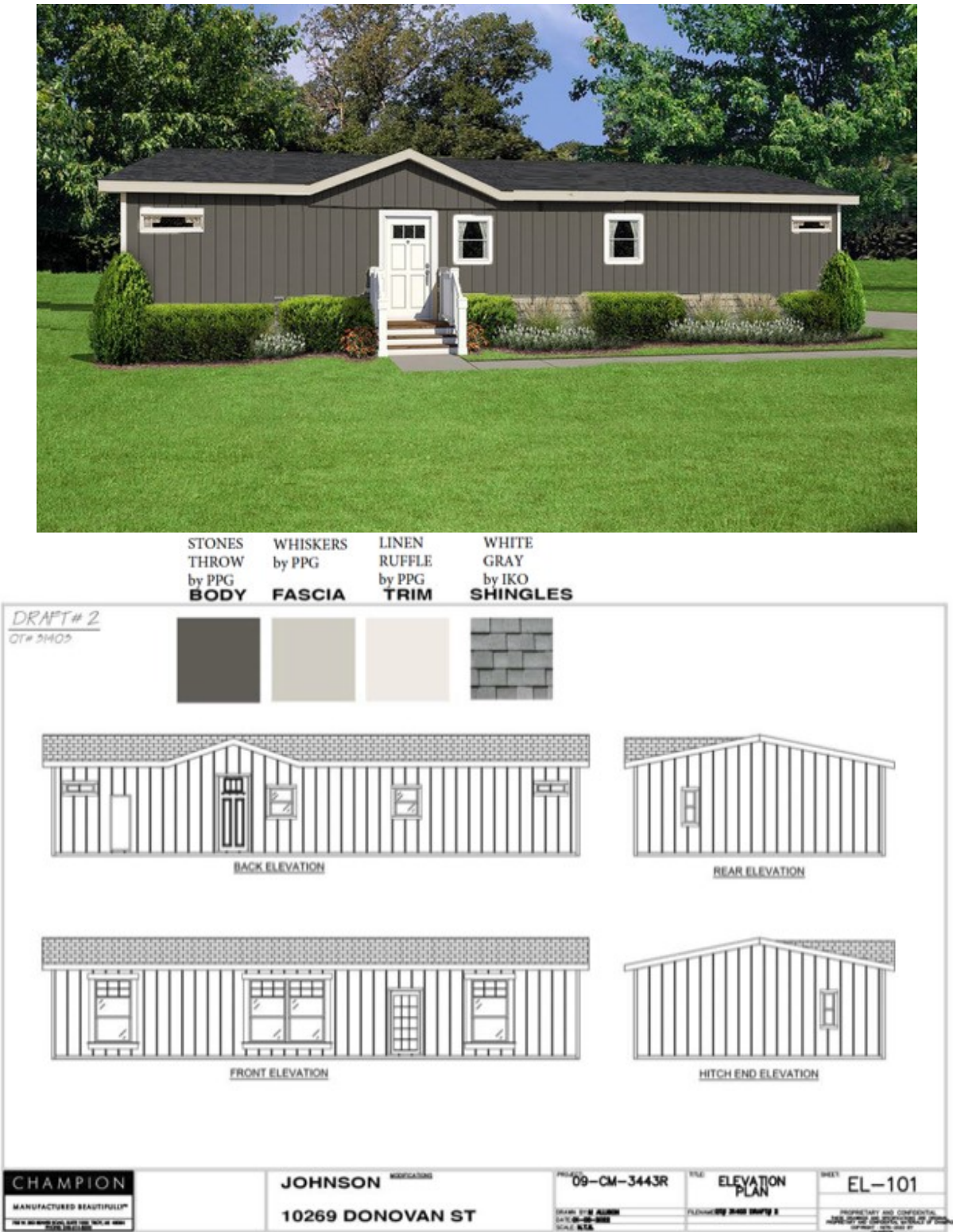
Figure 3. Site Photos





Figure 5. Building Renderings

SFD Renderings



ADU Renderrings



SIDEWALL ELEVATION STD



REAR ENDWALL ELEVATION

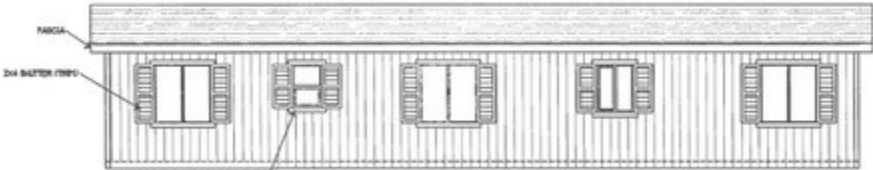


FRONT ENDWALL ELEVATION - STD



BODY: BANANA BRULEE
ACCENT: GRAY STONE
TRIM: WINTER MOOD

PPG BRAND



SIDEWALL ELEVATION - STD
(INCLUDES OPT. BATH SHOWER)

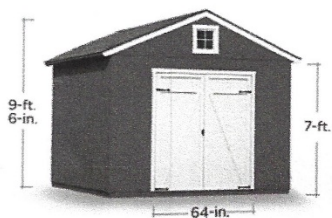
STANDARD EXTERIOR ELEVATIONS

Fairpoint and Rockport JOHNSON DONOVAN ST ADU

revised: 04-23-17

Shed Renderring

Job Photos



STATESMAN

BONUS features include:

- 64-in. Wide Door Opening
- Decorative Door Trim
- 2 Shelves
- Storage Loft
- Gable Window
- Extra Tall 7-ft. Side Walls
- Complete Floor System

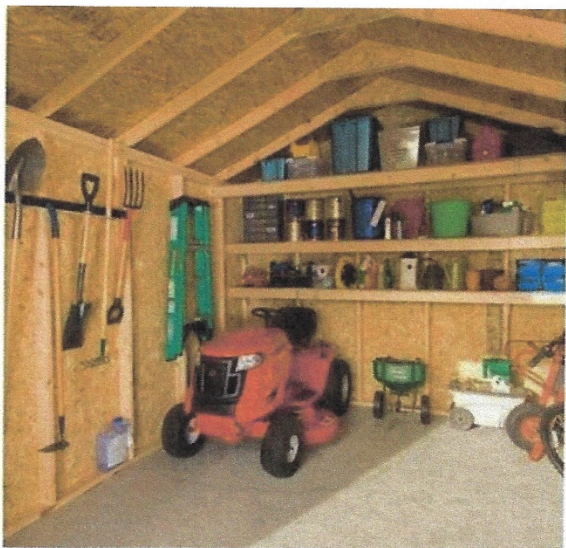


Figure 6. Fence Plan

DONOVAN-SECO PROJECT

10269 DONOVAN STREET
JAMESTOWN, CALIFORNIA 95327
APN # 003-210-30

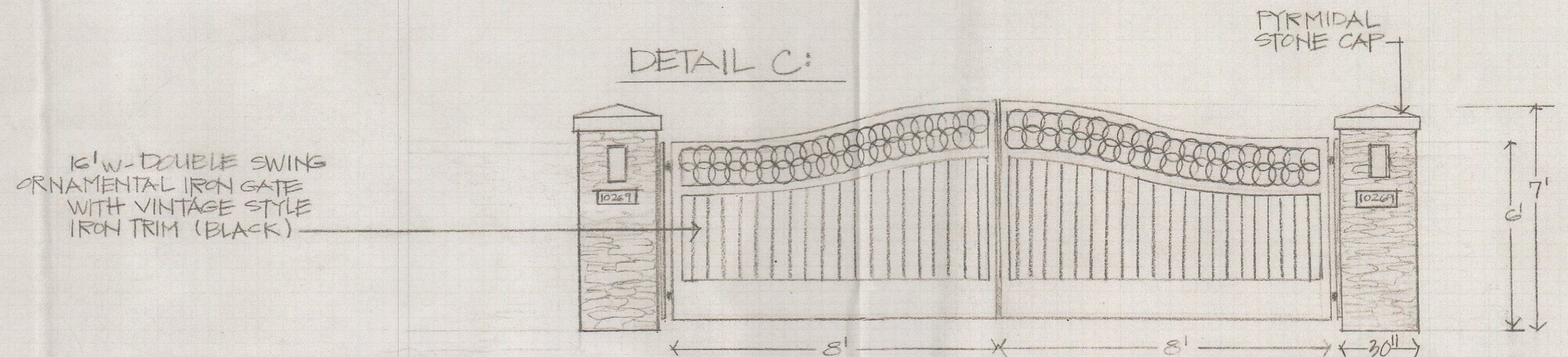
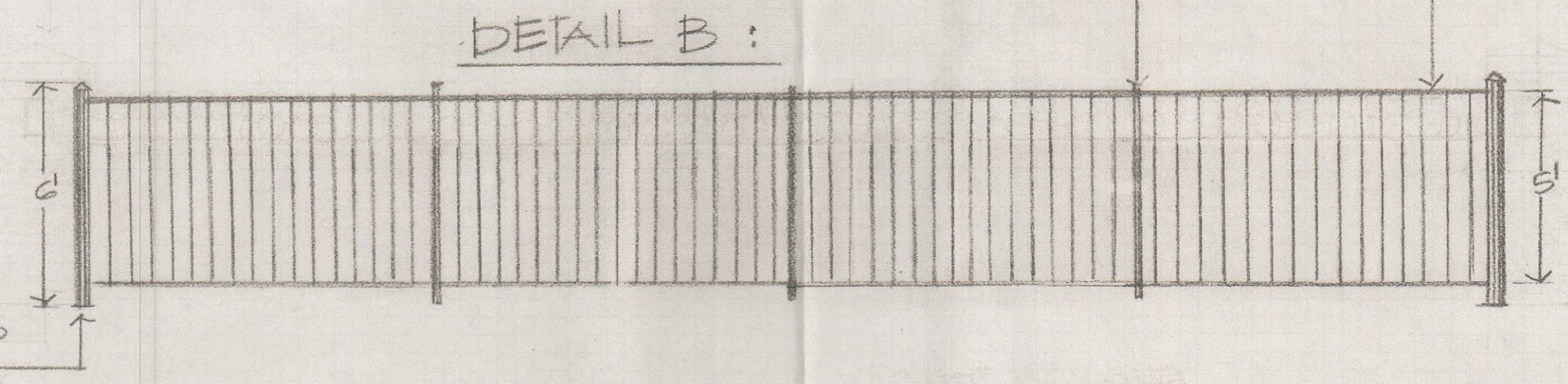
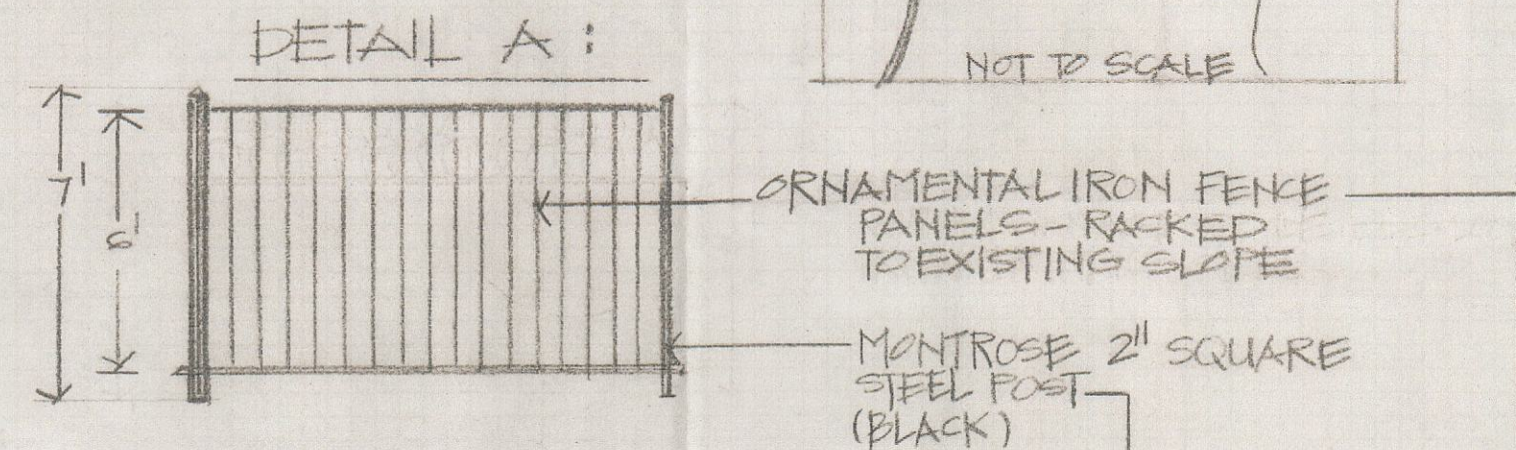
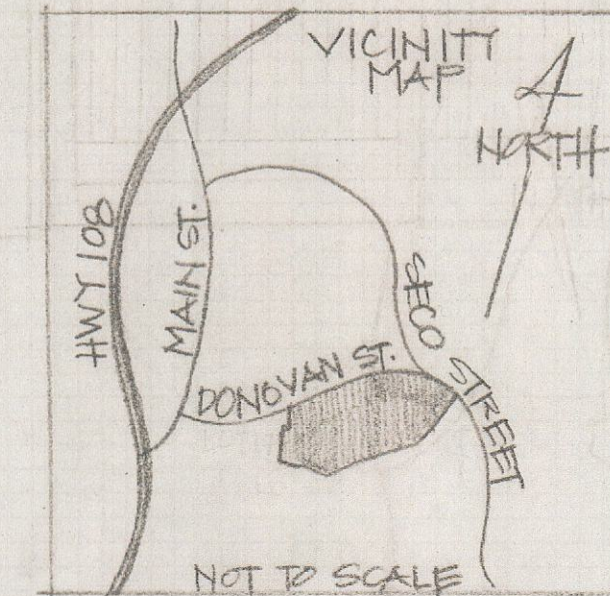
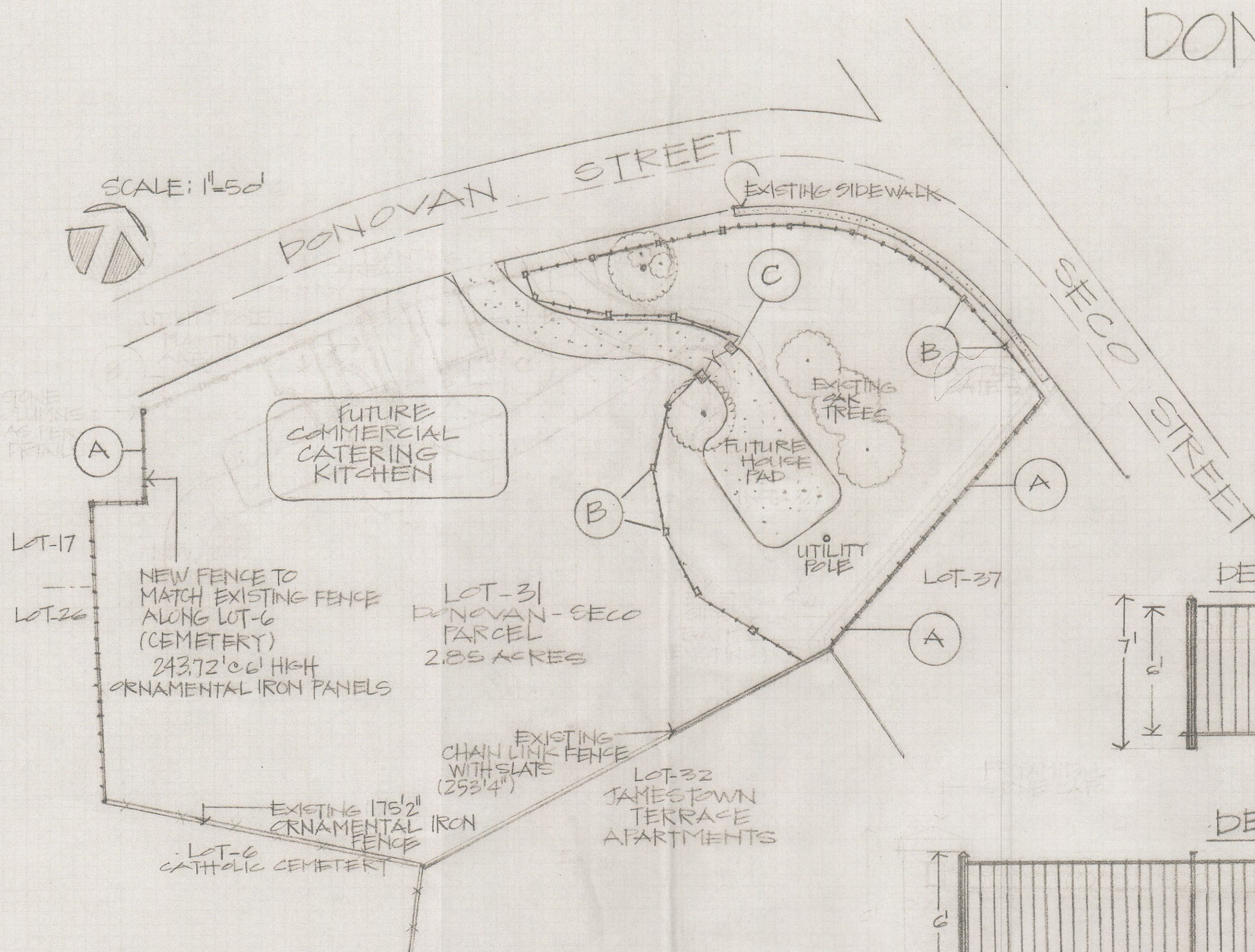
PAUL JOHNSON
1436 PAPOOSE DRIVE
COPPERPOOLS, CA. 95228

RECEIVED

OCT 25 2021

Community Development
Department

REVISED



HISTORICAL SOCIETY REVIEW NOTES:

1. ALL COUNTY REQUIRED PERMITS WILL BE OBTAINED BEFORE CONSTRUCTION.
2. PARCEL ZONING M-UID:HM-X
3. FUTURE PLANS-
3. SINGLE FAMILY RESIDENCE (2022)
4. COMMERCIAL CATERING KITCHEN (2023)

PAUL JOHNSON- OWNER
(209) 822-0082
PAULEDDWARDJOHNSON@ME.COM

REVISION A 10-22-21

**CONDITIONS OF APPROVAL
JOHNSON
HISTORIC CONDITIONAL USE PERMIT CUPH 21-003**

General Conditions:

1. LU As a condition of the grant of approval of this Permit, and as a continuing condition of approval of the Permit, developer/permittee/applicant/property owner/subdivider, and the successor in interest shall defend, indemnify, save and hold harmless the County of Tuolumne, its elected and appointed officials, officers, agents, employees and volunteers from any and all claims, actions, proceedings, or liability of any nature whatsoever (including attorney's fees and costs awards) arising out of, or in connection with the County's review or approval of the application or project on which this condition is imposed, or arising out of or in connection with the acts or omissions of the above described person, and his/her/its agents, employees, or contractors, during any work performed in connection with the application or project. With respect to review or approval, this obligation shall also extend to any effort to attack, set aside, void, or annul the approval of the project including any contention the project approval is defective because a county ordinance, resolution, policy, standard, or plan is not in compliance with local, state or federal law. With respect to acts or omissions of the above described person and his/her/its agents, employees, or contractors, the obligation hereunder shall apply regardless of whether the County prepared, supplied, or approved plans, specifications or both. If the defense right is exercised, the County Counsel shall have the absolute right to approve any and all counsel employed to defend the County. To the extent the County uses any of its resources to respond to such claim, action or proceeding, or to assist the defense, the above described person will reimburse County upon demand. Such resources include, but are not limited to, staff time, court costs, County Counsel's time at its regular rate for non-County agencies, or any other direct or indirect cost associated with responding to, or assisting in defense of, the claim, action, or proceedings. For any breach of this obligation the County may, without notice, rescind its approval of the application or project to which this covenant/condition is attached. (TCOC, Section 17.68.150)
2. LU Development shall comply with the policy and regulation of the Tuolumne Utilities District and Jamestown Sanitary District for water and sewer utility service. (TCOC, Section 17.68.150)
3. BD Building Permits are required for all non-exempt structures being constructed on this project site pursuant to Section 105 of the California Building Code. (TCOC, Section 17.68.150)

LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

4. ED If required, a Grading Permit shall be obtained from the Engineering Division of the Department of Public Works prior to any grading. (TCOC, Section 12.20.050).

Conditions to be met prior to the issuance of a Grading Permit:

5. ED If greater than 50 cubic yards of grading (for the driveway or buildings) is to be performed, a Grading Plan shall be submitted to the Engineering Division of the Department of Public Works for review and approval (TCOC, Section 12.20.140).
6. ED Provide proof that slope and drainage easements have been obtained or provided in such locations as necessary to accommodate cut and fill slopes, setbacks, and flow from the site (TCOC, Section 12.20.270-280).
7. ED Provide a 15-foot wide drainage easement along all existing pipes that are not located in a road and public utility easement (TCOC, Section 16.24.180).

Conditions to be met prior to the issuance of a building permit:

8. AG All hay, straw, hay bales, straw bales, seed, mulch or other material used for erosion control or landscaping on the project site shall be free of noxious weed seeds and propagules. Noxious weeds are defined in Title 3, Division 4, Chapter 6, Section 4500 of the California Code of Regulations and the California Quarantine Policy - Weeds. (Food and Agriculture Code, Sections 6305, 6341 and 6461)
9. LU Prior to the installation of any exterior lighting, a lighting plan shall be submitted to the Land Use and Natural Resources (LUNR) Division of CDD for review and approval. The lighting plan shall meet the following standards: direct the light downward to the area to be illuminated, install shields to direct light and reduce glare, utilize low rise light standards or fixtures attached to the buildings, and utilize low or high pressure sodium lamps or LED lighting instead of halogen type lights. The lighting plan shall comply with the International Dark Sky Association standards and fixtures shall have the International Dark Sky Fixture seal of approval. The Lighting Plan shall also comply with the Jamestown Design Guidelines and shall be directed downward, be energy-efficient, and should resemble historic fixtures and materials. (TCOC, Section 17.68.150)
10. AG All equipment brought to the project site for construction shall be thoroughly cleaned of all dirt and vegetation prior to entering the site, in order to prevent importing noxious weeds. (Food and Agriculture Code, Section 5401)
11. ED Verify that Road and/or Public Utility Easements a minimum of 25 feet in width from the existing centerlines of Donovan Street and Seco Street

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as they abut the project property has been dedicated. (TCOC, Section 17.68.150)

12. AG All material brought to the site, including rock, gravel, road base, sand, and topsoil, shall be free of noxious weed seeds and propagules. Noxious weeds are defined in Title 3, Division 4, Chapter 6, Section 4500 of the California Code of Regulations and the California Quarantine Policy - Weeds. (Food and Agriculture Code, Sections 6305, 6341 and 6461)
13. SW All solid waste from demolition or construction activities shall be disposed of at facilities authorized by the County Board of Supervisors by Resolution 183-04, including the Cal Sierra Materials Recovery Facility (MRF), the Pinecrest Transfer Station, or the Groveland Transfer Station. Solid waste that is not accepted at these facilities may be disposed of at an alternative facility that is permitted to receive the waste. (TCOC, Chapter 7 .12)

Conditions to be met during the construction phase of the proposed project:

14. BD Hours of exterior construction on the project site shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Exterior construction shall be prohibited on Sunday and County holidays. (TCOC, Section 17 .68.150))
15. ED Prior to the construction of any site improvements or grading on the site, all property corners shall be monumented and clearly visible. Where a clear line of sight between lot corners is not possible, appropriate markers shall be set along the property line to mark the boundaries while construction is in progress (TCOC, Section 12.20).
16. ED All soils disturbed by clearing and grubbing and/or grading shall be reseeded or hydro-mulched or otherwise stabilized as soon as possible, and emergency erosion control measures shall be utilized as requested by County officials (TCOC, Title 12).
17. ED Exposed serpentine gravel is prohibited on the construction site. (17 California Code of Regulations, Section 93106)
18. ED An Encroachment Permit shall be obtained from the Engineering Division of the Department of Public Works for any work that may be proposed within the County road right-of-way along Donovan Street and/or Seco Street (TCOC, Section 12.04).
19. BD/ED The contractor shall be responsible for dust abatement during construction and development operations. A water truck or other watering device shall be on the construction site on all working days when natural precipitation does not provide adequate moisture for complete dust control. Said watering device shall be used to spray water on the site at the end of each day and

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at all other intervals, as need dictates, to control dust. (TCOC, Section 12.20.370)

Conditions to be met prior to the Certificate of Occupancy by the Building and Safety Division of the Community Development Department:

20. LU The final project shall meet all requirements mandated by federal, state, or local law. Federal or state law may require additional obligations beyond those required by these conditions or local requirements, including additional analysis of environmental or other issues, over which the County has no control. (TCOC, Section 17.68.150)
21. LU A site inspection will be conducted by Community Development Division personnel to verify compliance with the conditions listed above. (TCOC, Section 17.68.150)
22. LU The applicable Traffic Impact Mitigation Fee (TIMF) shall be paid to Tuolumne County prior to issuance of a Certificate of Occupancy. The final TIMF and Service fee will be calculated and due prior to the issuance of a Certificate of Occupancy by the Building and Safety Division of the CDD. (TCOC, Chapter 3.54 and Section 17.68.150).
23. LU/BD All construction on the site shall adhere to the site plan approved by Tuolumne County. Any significant deviation from the plans shall require approval of supplemental plans submitted by the property owner. (TCOC, Section 17.68.150)

On-Going Conditions:

24. EH All storage and removal of refuse, rubbish, and recyclables shall be in compliance with the requirements specified in TCOC, Chapter 8.05 and CCR Title 14 and Title 27. {TCOC, Chapter 8.05}
25. SW Excepting disruptions in normal refuse collection schedules, refuse shall not be allowed to remain on the premises for more than seven days unless it is satisfactorily composted, used as animal food, used as soil amendments, or some other beneficial use provided such use does not create a nuisance. (TCOC, Section 8.05.035)
26. SW Persons hauling solid waste from their residence or solid waste produced in the course of their own business (including building contractors) are required to deliver solid waste only to facilities identified and authorized by the Tuolumne County Board of Supervisors by Resolution, including the Cal Sierra Transfer Station, the Pinecrest Transfer Station, or the Groveland Transfer Station. (TCOC, Section 7.12.050}

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27. LU

The noise levels generated by the project shall be restricted to the following exterior noise limits as measured at the property line as

Zoning Classification of Receiving Property	Noise Level (dB) of Sound Source	
	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
MU, R-3, R-2, R-1, RE-1, RE-2, RE-3, RE-5, RE-10, C-O, C-1, C-S, BP	50 L_{eq} . (1 hour) ¹	45 L_{eq} . (1 hour) ¹

follows:

¹ L_{eq} . 1 hour refers to the average noise level measured over a one hour period. (TCOC, Section 17.68.150)

MONITORING PROVISION: A Notice of Action shall be recorded for Conditions 1 through 27 to notify all owners of this parcel of the conditions of this entitlement and these responsibilities. Any violations observed by the Community Development Department and Department of Public Works during regular site inspections or in response to complaints shall be referred to the agency having jurisdiction over the condition for resolution or referred to the Code Compliance Officer for enforcement. (PRC, Section 21081.6; TCOC Section 17.68.150)

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HISTORIC PRESERVATION REVIEW COMMISSION



TERRY BREJLA, CHAIR
LISA DEHART, VICE-CHAIR

HISTORIC PRESERVATION REVIEW COMMISSION MEETING MINUTES MONDAY May 3, 2021

2 South Green Street
Sonora, CA 95370
209 533-5633

COMMISSIONERS

Charlotte Hague
Sharon Marovich
Jerry Morrow
Jeannette Simons

PRESENT: Chair Brejla, Vice-Chair DeHart, and Commissioners Sharon Marovich, Lisa DeHart, BZ Smith, and Jeannette Simons

ABSENT: None

STAFF: Cheydi Gonzales, Land Use Technician; Richard Walker, Planning Manager

CALL TO ORDER/WELCOME:

Chair Brejla called the meeting of May 3, 2021 to order at 4:03 p.m.

Chair Brejla announces we will be following Rules of COVID procedures over Zoom.

Cheydi Gonzales, Land Use Technician, gave an overview of the COVID-19 procedures.

Chair Brejla asked staff to roll call the Commission.

Chair Brejla: Present
Vice-Chair DeHart: Present
BZ Smith: Present
Sharon Marovich: Present
Lisa DeHart: Present
Jeanette Simons: Present

Chair Brejla indicated that there was a quorum.

PUBLIC FORUM: 15 minutes

Chair Brejla opened the 15-minute public comment period, during which anyone wishing to could come forward and address the Commission on any item not on the Agenda.

Seeing no one else who wished to address the Commission at this time, Chair Brejla closed the public comment period.

COMMISSION BUSINESS:

A. Reports from Staff and Commissioners

None

MINUTES:

1. Consideration of the Minutes of the January 4, 2021 meeting.

It was moved and seconded to approve the minutes of January 4, 2021 with the proposed corrections.

Chair Brejla called for the vote:

Chair Brejla: Aye
Vice-Chair Dehart: Aye
BZ Smith: Aye
Commissioner Simons: Aye
Commissioner Marovich: Aye

Motion carried 5 – 0 – 0

PUBLIC HEARING:

1. Project Review – Review the following project: take any necessary action.

1. Historic Conditional Use Permit CUPH 20-003 allow demolition and replacement of a service building, demolition and replacement of a rubble stone wall, relocation of existing propane tank and installation of a backup generator to the Jamestown Hotel on a 5,401 square foot parcel zoned C-1:D:H:HDP:MX (General Commercial: Design Review: Historic: Historic Design Review: Mobilehome Exclusion) combining district under Title 17 of the Tuolumne County Ordinance Code.
2. Notice of Exemption pursuant to Section 15301 (existing facilities) and 15331(reconstruction of historical resource) of the State CEQA Guidelines.

The project site is located at 18153 Main Street, approximately 145± feet northeast of the intersection of Main Street and Donovan Street in the community of Jamestown. The project site is located within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-162-004.

Cheydi Gonzales, Land Use Technician, gave an overview of the proposed projects location and description.

The Commission discussed the proposed project.

Chair Brejla opened the public comment period and asked if there was anyone who wished to speak on the proposed project.

The project applicant discussed the project and asked for Commission approval.

Chair Brejla asked if there was anyone else who wished to speak on the proposed project. Seeing no one, she closed the public comment and referred the item back to the Commission.

It was moved and seconded to approve Historic Conditional Use Permit CUPH20-003 based on Findings A through F and based on Conditions 1 through 11.

Chair Brejla called for the vote:

Chair Brejla: Aye
Vice-Chair Dehart: Aye

BZ Smith: Aye
Commissioner Simons: Aye
Commissioner Marovich: Aye

Motion carried 5 – 0 – 0

COMMISSION BUSINESS:

1. **Demolition Review Committee** – Committee report; take action as necessary.

None

2. **Grant Committee** – Committee report; take action as necessary

None

3. **“Preserve America” Committee** – Committee report; take action as necessary.

None

ADJOURNMENT:

Chair Brejla adjourned the meeting at 4:57 p.m.

Respectfully,

Quincy Yaley, AICP
Community Development Department Director

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