



HISTORIC PRESERVATION REVIEW COMMISSION



TERRY BREJLA, CHAIR
LISA DEHART, VICE CHAIR

**SPECIAL HISTORIC PRESERVATION REVIEW COMMISSION
COMMISSION AND COMMITTEES ROOM, 3RD FLOOR
48 YANEY AVENUE, SONORA**

December 9, 2024

4:00 p.m.

You also may submit written comments by U.S. Mail to 2 South Green Street, Sonora, CA 95370 or email (cdd@tuolumnecounty.ca.gov) for retention as part of the administrative record. Comments will not be read during the meeting.

PUBLIC FORUM: 15 minutes

The public may speak on any item not on the printed agenda. No action may be taken by the Commission.

COMMISSION BUSINESS:

- A. Reports from Commissioners and staff

PUBLIC HEARING:

None

NEW BUSINESS:

None

OLD BUSINESS:

1. GSA Staff will provide a written and oral report on Capitol and Maintenance projects of historical interest and answer questions from Commission and the public. These updates will include progress on the Historic Courthouse Elevator, Groveland Community Hall, Pinecrest Community Hall, and the Tuolumne Flagpole repair.

COMMITTEE REPORTS:

1. **Demolition Review Committee** – Committee report; take action as necessary.
2. **Grant Committee** – Committee report; take action as necessary
3. **“Preserve America” Committee** – Committee report; take action as necessary.

ADJOURNMENT

The Minutes, Staff Reports, and other documents for the items referenced in this Agenda are available for review at the Tuolumne County Community Development Department, 48 Yaney, Sonora, California, and online at <https://www.tuolumnecounty.ca.gov/140/Historic-Preservation-Review-Commission>. Any other materials related to the items referenced in this Agenda that are

provided by the County to the HPRC Commissioners prior to the meeting are available for review at the Tuolumne County Community Development Department, 48 Yaney, Sonora, California, and will be available at the meeting. Any materials provided to the Commissioners during the meeting by the County will be available for review at the meeting, and materials provided by the public will be available for review at the Community Development Department the day following the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (209) 533-5633. Notification 48 hours prior to the meeting will enable the County to make reasonable arrangements to ensure accessibility.

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Tuolumne County General Services Agency

"Working collaboratively to support county-wide operations."

HPRC

Status Report for December 2024

This is the General Services Agency status report to HPRC for the month of December 2024. Staff will attend your December 2nd meeting to answer any questions you may have on any of the County projects. As mentioned at your last meeting, we will have the historical architecture firm of Page & Turnbull attending this meeting to discuss the Groveland Community Hall Restoration Project with all of you. We also expect members of the Groveland/Big Oak Flat Community in attendance.

Projects

1. **Yaney Elevator** - Boyer Construction and their subconsultants continue to work on the installation of the elevator. They are working on the elevator shaft and are hoping to have that up before the beginning of January. The attached pictures show you work on the first level of block for the elevator shaft. At the has meeting, HPRC members asked for sample of the exterior brick that will be utilized on the building. That request was made to the contractor. If County staff receives the sample exterior brick, it will be brought to your meeting so you can see it.
2. **Pinecrest Community Hall**- The County is in the process of concluding the negotiations for the sale of this facility. The documents related to this transition will be before the Board of consideration on December 3rd.
3. **Snell Street Houses**- Recently the County purchased two houses on the same property on Snell Street for the purpose of utilizing them as transitional housing. The two houses were built in 1951 and were recently remodel by the previous owners. The intent of the County is to do the following:
 - Not change the exterior of the two buildings except to take down a carport on the side of one of the houses. The carport structure is not reliable.
 - Pave and re-rock the entry way to/from the house to the street.
 - Removal of large tree stump in the front yard.
 - Provide fencing on the sides and back of the houses for privacy.

- Have the contractor conduct all deferred maintenance items as called for in the House and Inspection Reports.
- Minor grading and the installation of a concrete patio in the back of the house between the two houses (See third rendering). Grading and concrete patio is needed to protect both houses from water damage.

The plans and specifications are almost completed by the Architects (4 Creeks Architects) and will be submitted to the Building Department for Plan Review. This process will take approximately 6-8 weeks. Once a permit is obtained, County will go out to bid for this project.

4. **Hwy 108 House and Motel (AKA: Miners Hotel)**- This property was purchased for the purpose of providing Transitional and Permanent Supportive Housing. The House was built in 1955 and then the hotel 1959. The County is just beginning to work with 4 Creeks Architecture on the conversion of this site into housing units. As for changes to the outside structure of both the house and the motel there will be very little changes. Most of the changes pertain to the inside of each of the structures. The anticipated changes include the following:

- Removal of a wooden lattice gazabo type structure that was not original to the building.
- We will be removing the Motel signs on the street.
- Resurfacing most of the parking lot due to both ADA needs and due to the condition of the asphalt.
- Filling in of the pool. We will be making into a community garden. We will be leaving the pool house structure and the fencing around the pool.
- Converting the storage area on the ground floor into a laundry facility.
- Adding kitchenette units to each of the motel rooms. No changes to the walls of any of the motel rooms.
- Reconfiguring two of the lower motel room bathrooms to allow for ADA access.
- In the house on the lower level, we were looking at changing the front lobby area into a bedroom. Then add back a wall that was taken out awhile ago and restore a bathroom that used to be in the area. We are also then looking at modifying a utility closet and opening that space up so we could add a washer and dryer in that area.

As noted above, we have just begun talking to the architects about the changes to remodel the house and motel. We anticipate the Construction Plans will be completed by the end of February and then the project will be submitted to the Building Department for Plan Review.

5. **Groveland Community Hall Restoration Project-** The General Services Agency staff talked to you about this project last month. At your November meeting we discussed that we had hired Lionakis as the architectural for this project. As part of their team Lionakis retained the services of Page &Turnbull, Historical Architectures.

Due to the historical nature of this building and the importance to the fabric of Groveland/Big Oak Flat Communities, the Scope of Work for this project included three stakeholder meetings. Two of these meetings to be held in Groveland and then one with members of HPRC. All these meetings will occur before Lionakis gets going on the schematic design plans of the hall.

The first stakeholder meeting was held on November 12th in Groveland and was attended by over 50 people. Lionakis and County staff were in attendance to get input on the restoration of the project. The meeting lasted a little over 2 hours and there was good discussion by the group. We were hoping to receive more comments about the use, historical nature, and materials of the building. Attached are the minutes from the meeting.

The second stakeholder meeting will be held on December 2nd at your next HPRC Meeting. At that meeting Page and Turnball and County staff will be making a short presentation on their historical assessment of the building and want to talk to HPRC members about the following:

- Ensure that the research they have conducted to date is accurate and they are going in the right direction.
- Any information on use of the building or materials used in the construction of the building.
- To ask you about any other information you have that would assist them in both their research and in providing direction to Lionakis.
- See if you have any pictures of the building especially the front and inside of the structure.

We anticipate that there will be members of the public from the Groveland/Big Oak Flat area that will be attending this meeting.

The third stakeholder meeting will occur in Groveland and will be scheduled for some time in January. When the date is set, HPRC Members will be notified.

Attachment #1- Yaney Elevator Project



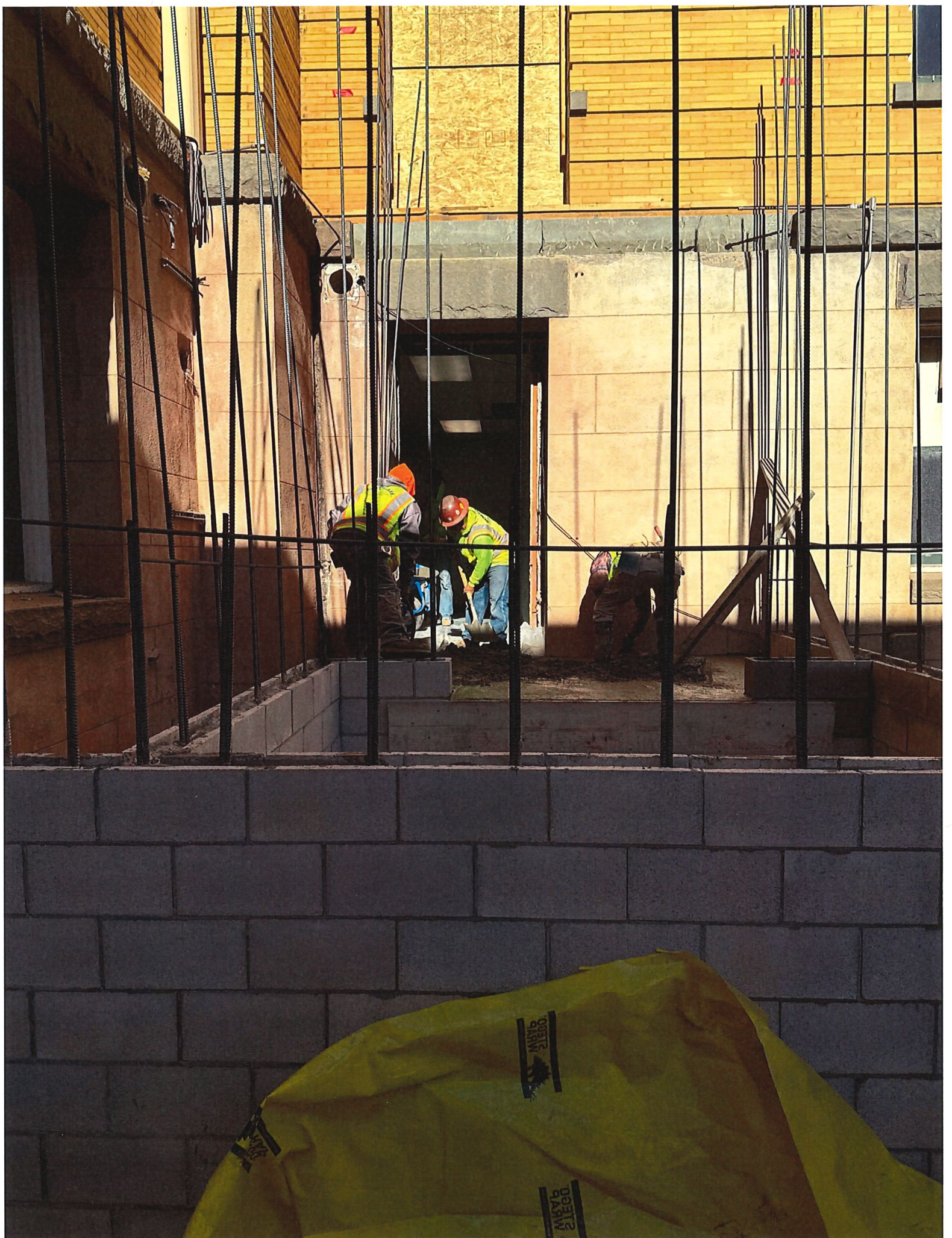
4 Week Look Ahead

YANEY HISTORIC COURTHOUSE ELEVATOR ADDITION

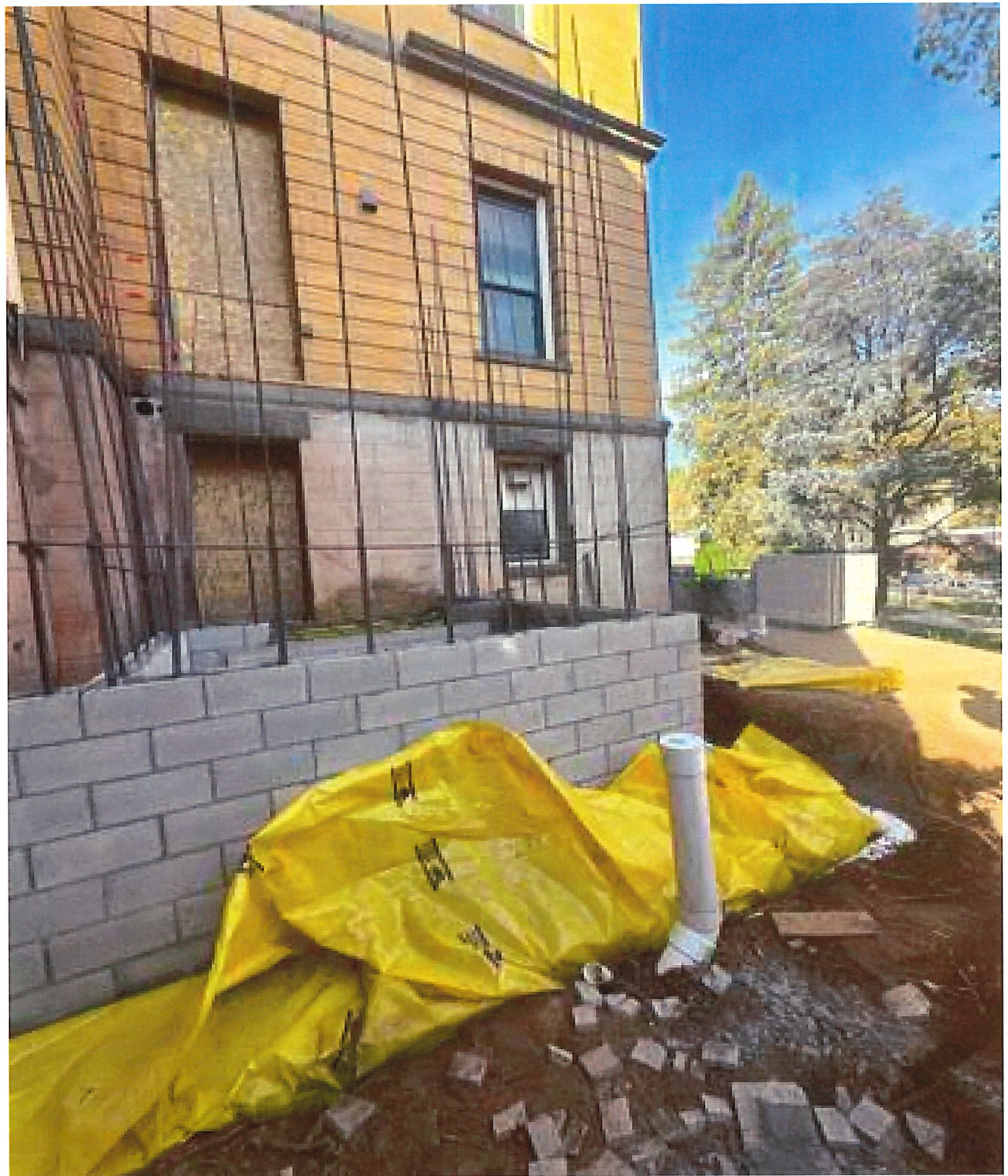
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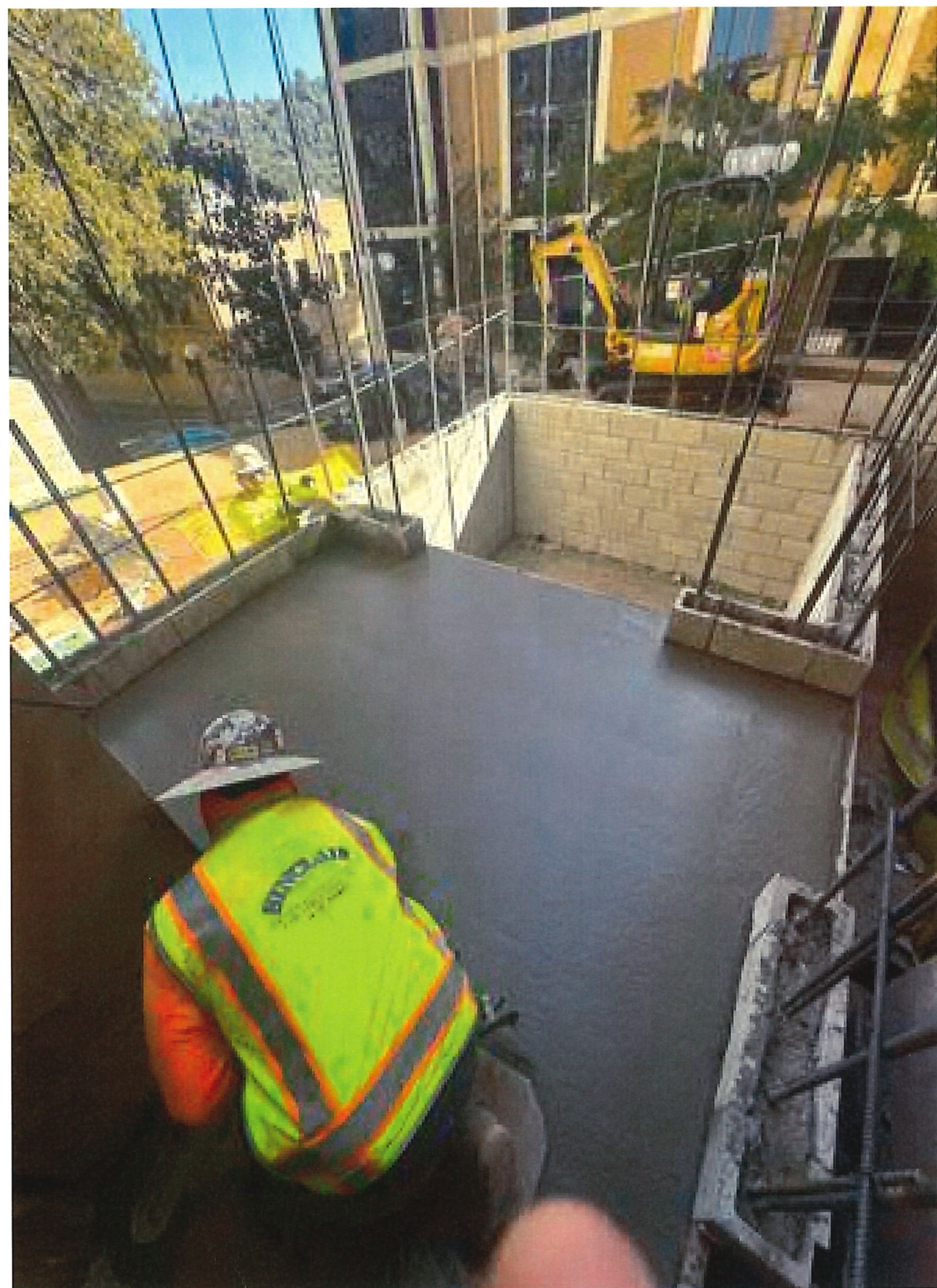
NOTES: Traffic control signage and construction fencing will be moved for the following dates as requested by the City of Sonoma: 11-29, 12-4, 12-20, and 12-21.







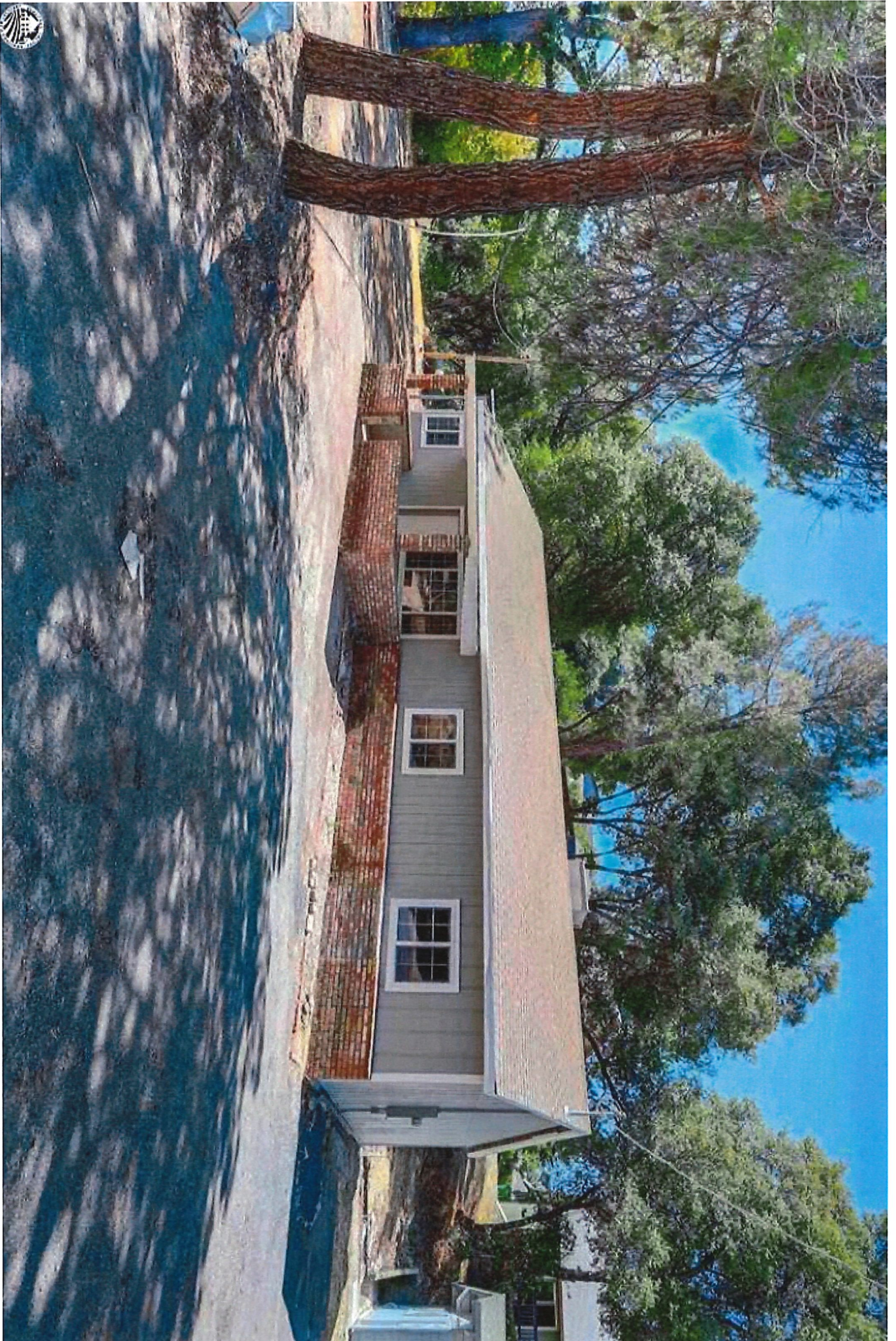




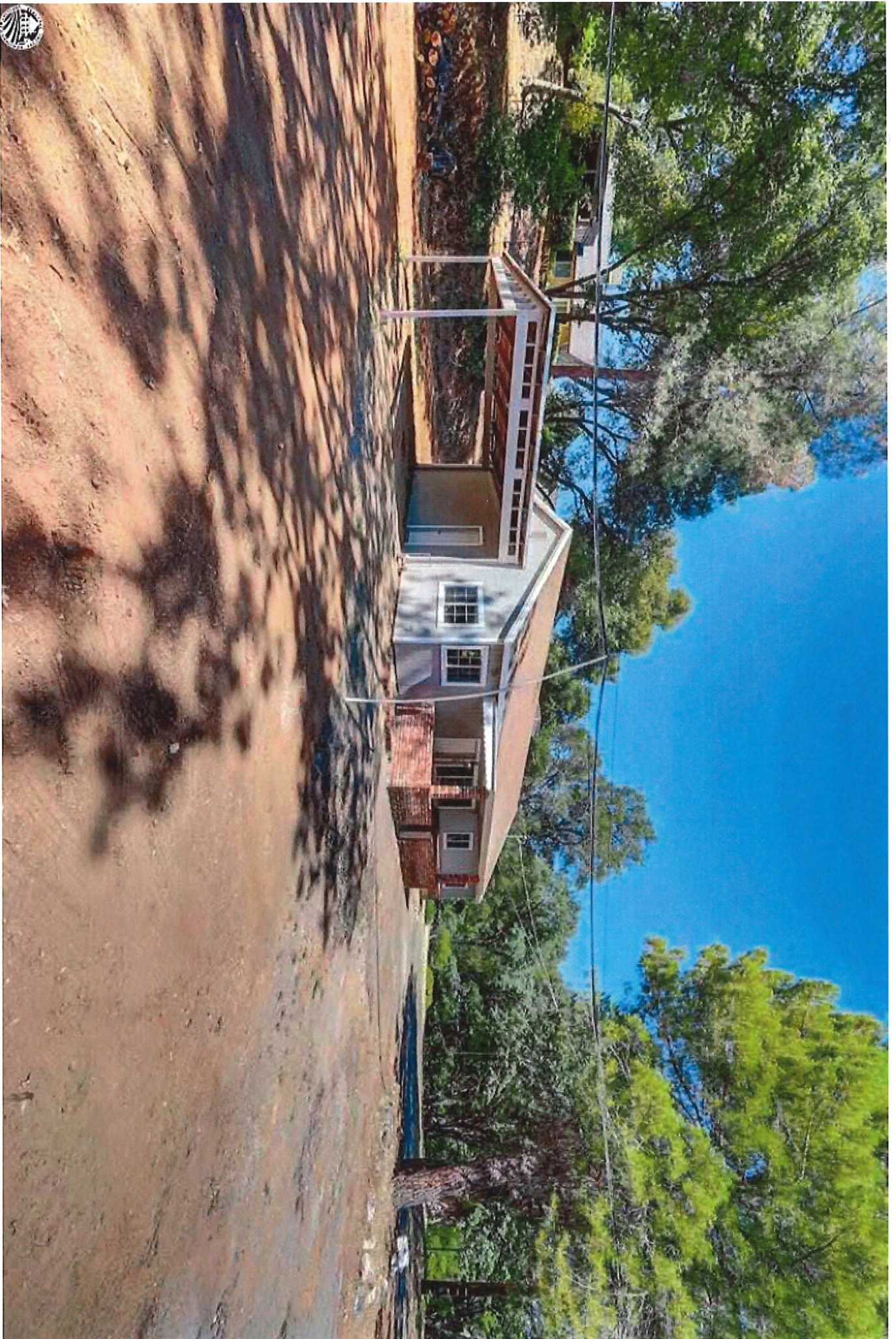
Attachment #2- Pinecrest Community Hall

No attachments associated with this project at this time

Attachment #3- Snell Street Houses







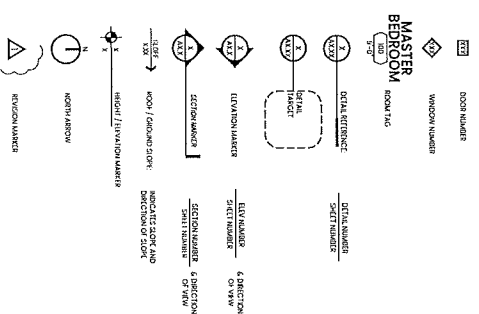


THE ARCHITECT HAS NO CONTROL OR RESPONSIBILITY FOR THE AGENT. IF CONFLICTS OR DISCREPANCIES OR PROBLEMS OF CONSTRUCTION OR SAFETY PROGRAMS FOR THIS PROJECT, SUCH PROGRAMS AND COMPLIANCE WITH ALL LAWS, RULES, REGULATIONS, CODES OR ORDINANCES

1. The purpose of this document is to provide a clear and concise overview of the project's goals, objectives, and scope. It is intended to serve as a reference for all project team members and to ensure that everyone is working towards the same goals.
2. The project is a multi-phase initiative that will involve the development of a new product line. The primary goal is to increase market share and revenue by introducing innovative products that meet the needs of our target audience.
3. The project team consists of members from various departments, including Marketing, Sales, and Product Development. Each team member has specific responsibilities and is expected to contribute to the overall success of the project.
4. The project timeline is as follows: Phase 1 (Research and Development) will last for 6 months. Phase 2 (Marketing and Sales) will last for 4 months. Phase 3 (Evaluation and Reporting) will last for 2 months.
5. The project budget is estimated at \$1,000,000. This includes costs for research, development, marketing, and sales. The budget is subject to change as the project progresses.
6. The project risks are identified and categorized as follows: High risk (e.g., market competition, budget overruns), Medium risk (e.g., resource availability, timeline delays), and Low risk (e.g., minor delays, communication issues).
7. The project success criteria are defined as follows: Meeting the project timeline, staying within the budget, achieving the target market share, and receiving positive feedback from customers.
8. The project team will meet weekly to discuss progress, address issues, and make decisions. The next meeting is scheduled for next Monday at 10:00 AM.
9. The project manager is responsible for ensuring that the project is completed on time, within budget, and to the satisfaction of the stakeholders.
10. The project is a high-priority initiative and requires the full commitment and support of all team members. We are confident that by working together, we can achieve our goals and create a successful product line.

A black and white photograph of a two-story wooden house with a stone foundation, situated on a grassy field with trees in the background. The house features a gabled roof, a small front porch, and several windows. The stone foundation is visible on the left side of the house. The house is surrounded by a grassy field, and there are trees in the background. The photograph is oriented horizontally on the page.

REMOTE



THE ADJOINING STREET SHALL BE CLEARED BY SWEEPING OR REMOVE DIRT, GUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY

THE ADJOINING STREET SHALL BE CLEARED BY SWEEPING OR REMOVE DIRT, GUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY

COUNTY OF TULSAWANE - COMMUNITY DEVELOPMENT DEPARTMENT
PHONE: (209) 533-6633
48 VAN DYKE AVENUE, FLOORS 3 AND 4

COUNTY OF TULSAWANE - COMMUNITY DEVELOPMENT DEPARTMENT
PHONE: (209) 533-6633
48 VAN DYKE AVENUE, FLOORS 3 AND 4

ADDRESSES NUMBER SHALL BE PLACED ON THE EXTERIOR OF THE BUILDINGS IN SUCH A POSITION AS TO BE CLEARLY AND EASILY VISIBLE FROM THE STREET. NUMBERS SHALL BE AT LEAST FOUR INCHES HIGH WITH A MINIMUM STROKE WIDTH OF $\frac{1}{8}$ " AND SHALL BE OF A COLOR TO CONTRAST WITH THEIR BACKGROUND. (CFC SECTION 505.1)

THE PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

THE PROJECT SHALL COMPLY WITH CURRENT APPLICABLE CODES & ORDINANCES

CWMLR:	CONTACT:
COUNTY OF TULUATINE	MAUREN FRANK
23 GRIFFIN STREET	AFRANT 99CO.TULUATINE
SANOMA CA 95370	EMAIL:
	PHONE:
	209.533.5511

CWMLR:	CONTACT:
COUNTY OF TULUATINE	MAUREN FRANK
23 GRIFFIN STREET	AFRANT 99CO.TULUATINE
SANOMA CA 95370	EMAIL:
	PHONE:
	209.533.5511

FILE / CODE	TIME EMPLOY
110	
120	RECEIVED WORK IN INSPECTION REPORT

CIVIL	GENERAL NOTES
CE-1	GENERAL AND STANDARD PLAN
CE-2	SECTION
CE-3	SECTION
CE-4	SECTION
CE-5	SECTION
CE-6	SECTION
CE-7	SECTION
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CE-167	SECTION

PROJECT DESCRIPTION

THE SMALL STREET TRANSITIONAL HOUSING PROJECT CONSISTS OF TWO (2) 3-BEDROOM, 2-BATHROOM

PROJECT DESCRIPTION

THE SMALL STREET TRANSITIONAL HOUSING PROJECT CONSISTS OF TWO (2) 3-BEDROOM, 2-BATHROOM

PROJECT ADDRESS
770 D & 726 5MILL STREET
SONOMA CA 95370

PROJECT ADDRESS
770 D & 726 5MILL STREET
SONOMA CA 95370

1. FLOOR INSPECTION AT 720 SULLY STREET SONOMA, CA PREPARED BY ENG BEAR ROOFING DATED JANUARY 9, 2024

2. TIGER INSPECTION AT THE SHALL STREET CORNER, CA. PREPARED BY BOB GILSA ROOMING DATED JANUARY 2024.
3. HOME INSPECTION REPORT FOR 720 SHALL STREET PREPARED BY CONNECTION HOME INSPECTIONS DATED DECEMBER 22, 2023.
3. HOME INSPECTION REPORT FOR THE SHALL STREET PREPARED BY CONNECTION HOME INSPECTIONS DATED DECEMBER 22, 2023.
4. WOOD DECKING, STEPS AND PORCHLAND INSPECTION REPORT FOR 720 & 728 SHALL STREET PREPARED BY HAWK TRIMM AND INSPECTION SERVICES DATED DECEMBER 20, 2023.

SLATE A TEL: 559.802.3305
VIRALIA CA 92292 FAX: 559.802.3306

DATE _____ SIGNATURE _____
TITEL (fonction et nom de la personne) _____

**SNELL STREET TRANSITIONAL
HOUSING PROJECT**
TUOLUMNE COUNTY
720 & 728 SNELL STREET
SONOMA, CA

TITLE SHEET
T1.0

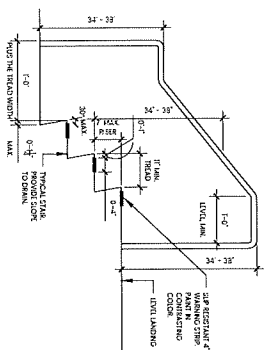
ARCHITECTURAL SITE PLAN LEGEND

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|  | (a) CRYSTALLINE SOLIDS TO CRYSTALLINE POLYMERS |
|  | (b) CRYSTALLINE SOLIDS TO CRYSTALLINE POLYMERS |
|  | (c) CRYSTALLINE SOLIDS TO CRYSTALLINE POLYMERS |
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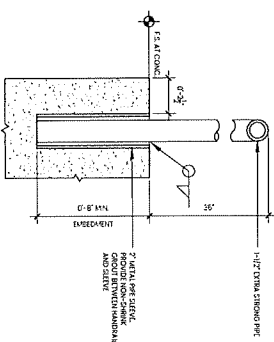
KEYNOTES

- 50 (A) STORM DRAIN, REFER TO CDM DRAWINGS
- 51 (B) STAIRS AND ELEVATOR, REFER TO CDM AND STRUCTURAL DRAWINGS FOR LAYOUT INFORMATION AND STAIRS 3 (A) 1
- 52 (C) CONCRETE WALL TO EXIST
- 53 (D) CONCRETE CATCH BASIN, REFER TO CDM AND STRUCTURAL DRAWINGS FOR LAYOUT INFORMATION
- 54 (E) EXISTING WALL THE GLASS BRAY TO CDM AND STRUCTURAL DRAWINGS FOR LAYOUT INFORMATION
- 55 (F) LANDSCAPE BOUNDARY
- 56 (G) EXISTING DRIVEWAY TO CDM DRAWINGS FOR LAYOUT INFORMATION
- 57 (H) STORM DRAIN THE EXIST
- 58 (I) CONCRETE WALL BRAY TO CDM AND STRUCTURAL DRAWINGS FOR LAYOUT INFORMATION

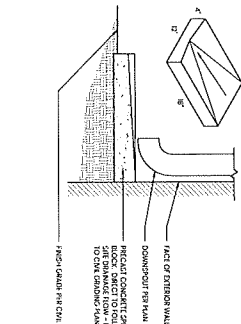
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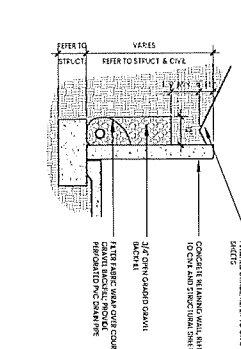
2 HANDRAIL AT EXTERIOR STAIR



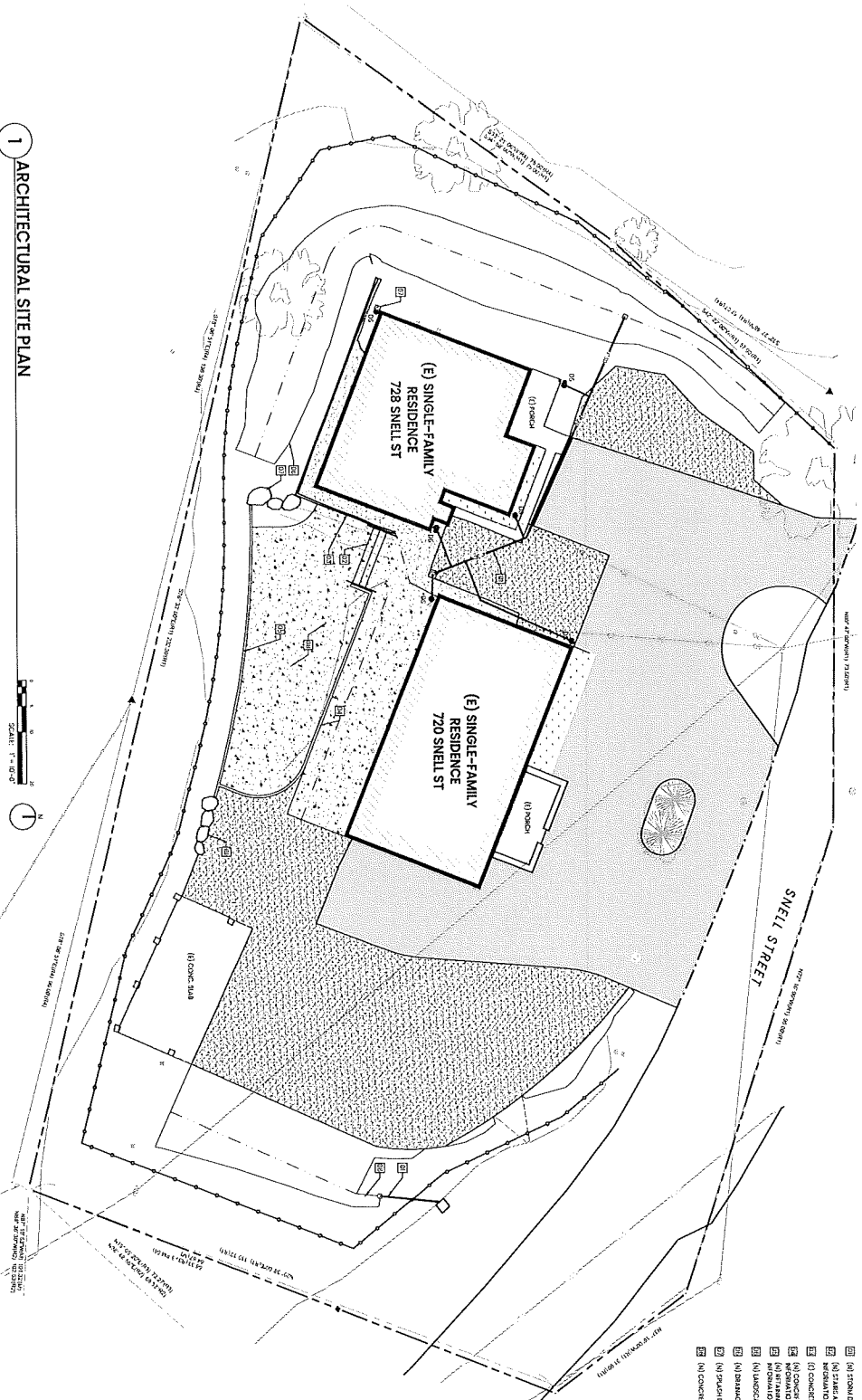
4 SPLASH BLOCK



5 CONCRETE RETAINING WALL



1 ARCHITECTURAL SITE PLAN

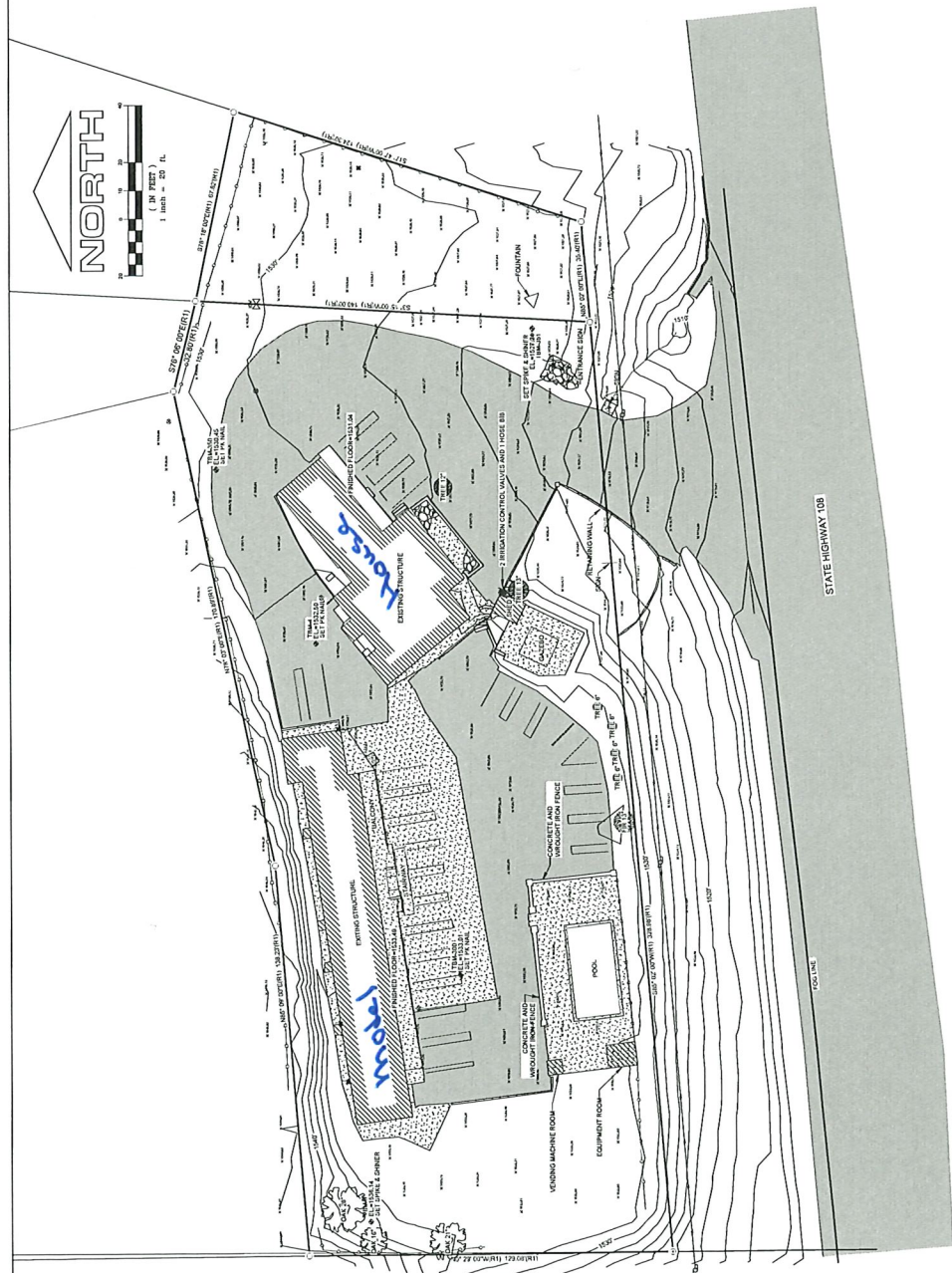


Attachment #4 – Hwy 108 House and Motel





A TOPOGRAPHIC MAP FOR:
COUNTY OF TUOLUMNE
18740 STATE HIGHWAY 108, JAMESTOWN, CA 95327-9123



SITE PLAN

OWNER INFORMATION

OWNER:
COUNTY OF TUOLUMNE
MAILING ADDRESS:
20000 STATE HIGHWAY 108
JAMESTOWN, CA 95327
PHONE: (209) 923-9220

SITE INFORMATION

ADDRESS: 18740 STATE HIGHWAY 108, JAMESTOWN, CA 95327-9123
A.P.N.: 05A060201 & 05A060201
M.D.N.: 12 PB 88
LOT SIZE: 4.13 ACRES AND 0.13 ACRES
SEWER: JAMESTOWN SANITARY DISTRICT
WATER: SONOMA WATER RESOURCES
GENERAL PLAN: C-1
ZONING: GC
LOT ELEVATION: AS SHOWN

NOTES

- 1- ALL BEARINGS AND DISTANCES SHOWN ARE RECORD UNLESS OTHERWISE NOTED
- 2- PRIOR TO COMMENCING ANY CONSTRUCTION ON THIS SITE IT IS ADVISED THAT ALL INVOLVED PARTIES OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES
- 3- THE PLANS HAVE BEEN PREPARED TO MEET THE STRUCTURAL REQUIREMENTS OF THE CURRENT BUILDING CODES AND THE REQUIREMENTS OF THE JAMESTOWN SANITARY DISTRICT
- 4- THESE PLANS HAVE BEEN PREPARED TO MEET THE STRUCTURAL REQUIREMENTS OF THE CURRENT BUILDING CODES AND THE REQUIREMENTS OF THE JAMESTOWN SANITARY DISTRICT
- 5- THE PLANS HAVE BEEN PREPARED TO MEET THE STRUCTURAL REQUIREMENTS OF THE CURRENT BUILDING CODES AND THE REQUIREMENTS OF THE JAMESTOWN SANITARY DISTRICT
- 6- THE PLANS HAVE BEEN PREPARED TO MEET THE STRUCTURAL REQUIREMENTS OF THE CURRENT BUILDING CODES AND THE REQUIREMENTS OF THE JAMESTOWN SANITARY DISTRICT
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REVISIONS:
REV: 01/20/2020

OWNER INFORMATION:
4 CREEKS INC.
RANDYWB@4-CREEKS.COM
Ph (559) 802-3215

SITE INFORMATION:
APN: 05A060201
409-450-031
18740 STATE HIGHWAY 108
JAMESTOWN, CA 95327-9123

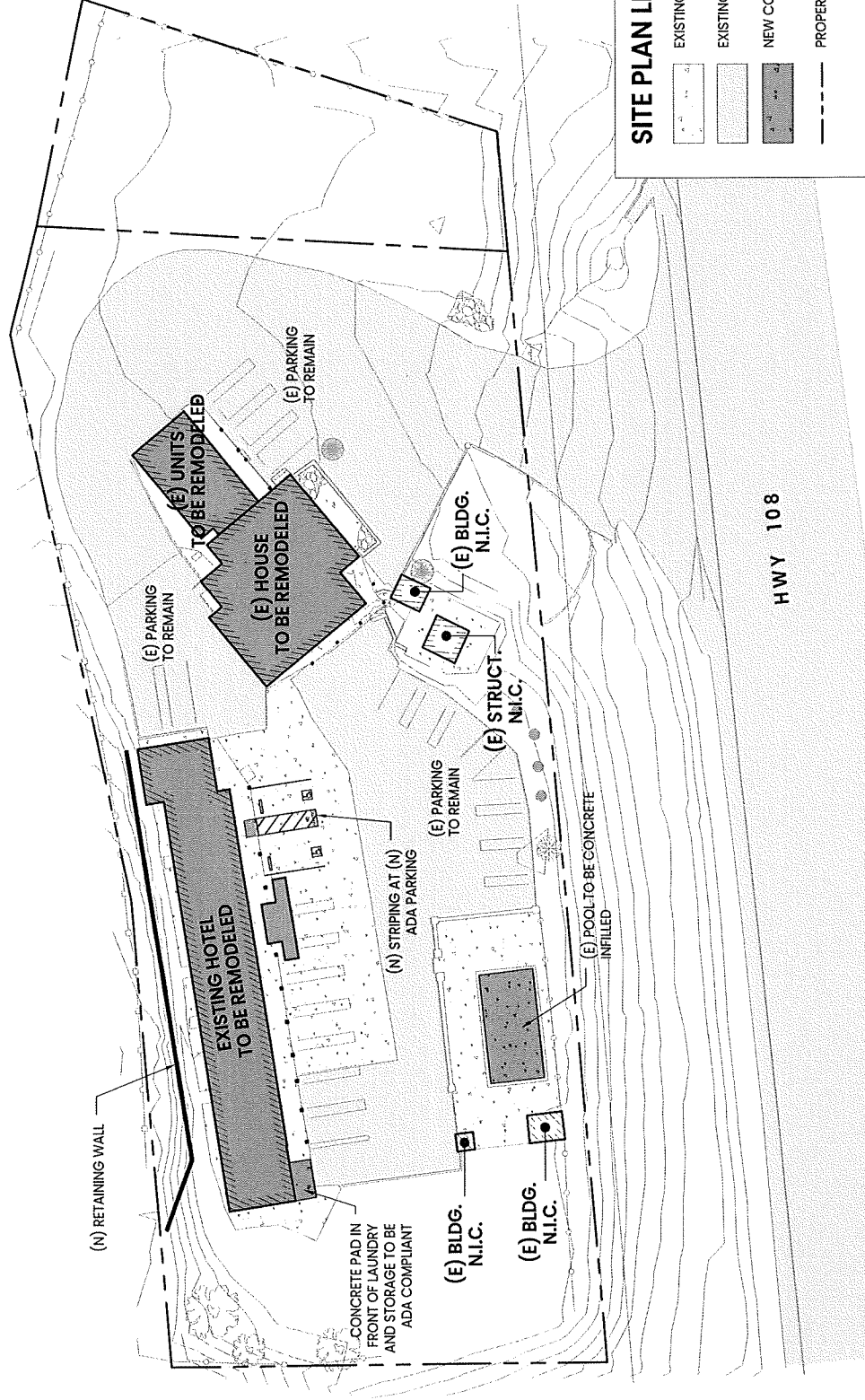
PROJECT INFORMATION:

4 CREEKS INC.
RANDYWB@4-CREEKS.COM
Ph (559) 802-3215

A TOPOGRAPHIC MAP FOR

SURVEYOR OF RECORD:
PRELIMINARY
BY: 4 CREEKS INC.

ISSUE DATE:	07/22/2024
DRAWN BY:	TAHMB
CHECKED BY:	RW
SCALE:	1" = 20'
DRAWING:	18740 HWY 108
PROJECT NO.:	24-03-21
SHEET:	1 OF 1



605 Santa Rosa Street,
San Luis Obispo, CA

805.904.4394

info@4-creeks.com
www.4-creeks.com

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Highway 108

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November 13, 2024



4CREEKS

SITE PLAN A1.0

SCALE: 1/32" = 1'-0"



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ARCHITECTURE

PLANNING

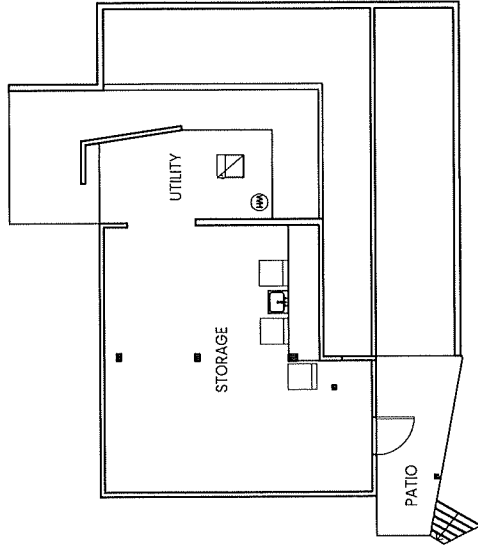
CIVIL

UTILITIES

STRUCTURAL

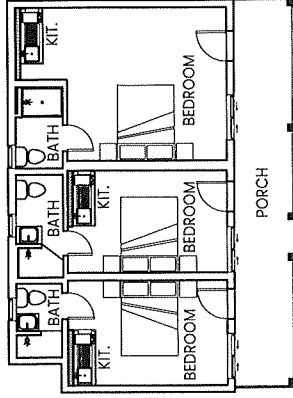
SURVEYING

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1 BASEMENT FLOOR PLAN

SCALE: 3/32" = 1'-0"



2 HOUSE UNITS FLOOR PLAN

SCALE: 3/32" = 1'-0"

FLOOR PLAN WALL LEGEND



EXISTING WALL TO REMAIN



NEW WALL



HOUSE FLOOR PLANS

A2.0



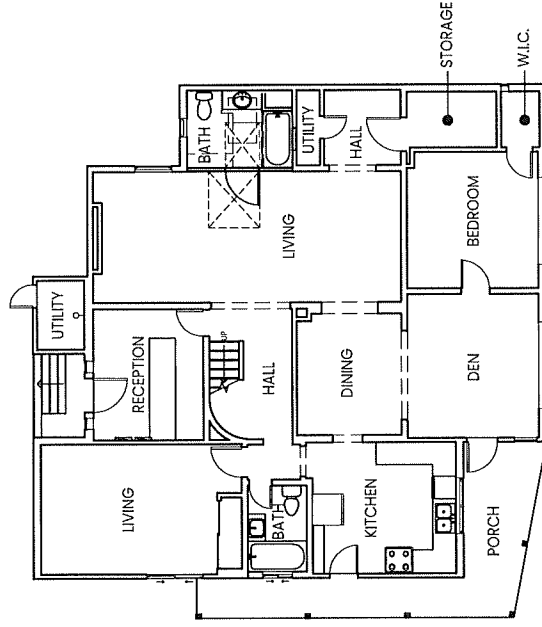
4CREEKS

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San Luis Obispo, CA

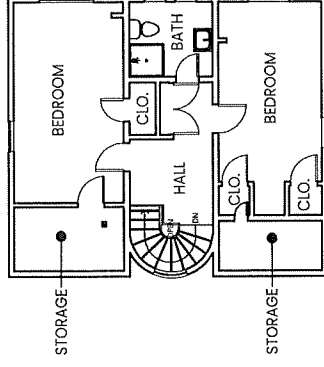
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1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

FLOOR PLAN WALL LEGEND



EXISTING WALL TO REMAIN



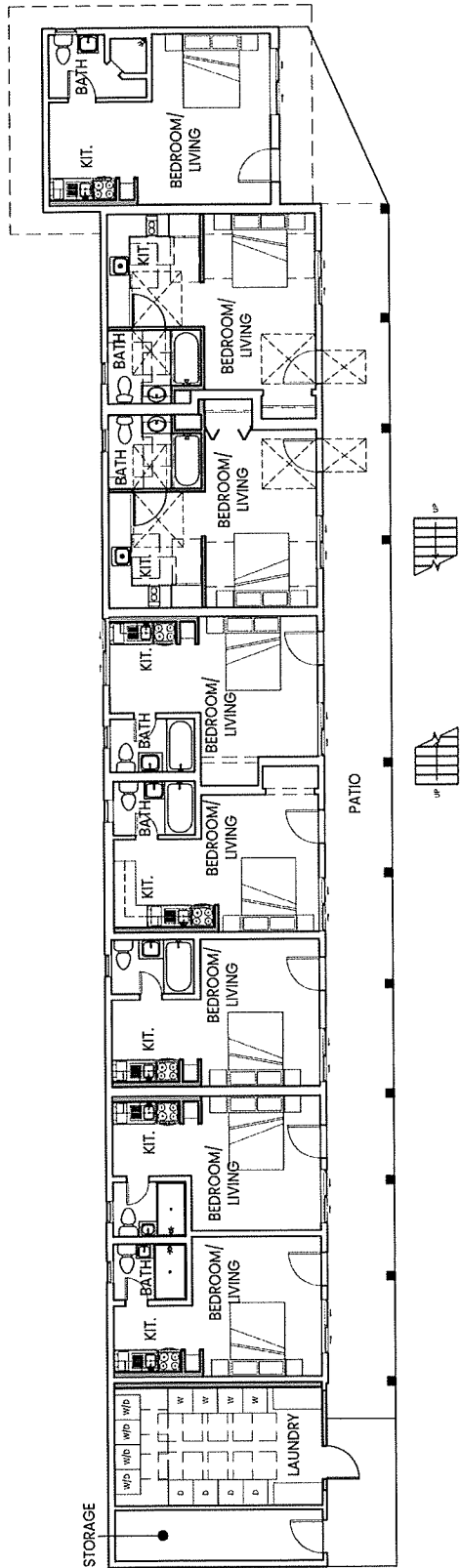
NEW WALL



HOUSE FLOOR PLANS A2.0

FLOOR PLAN WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL



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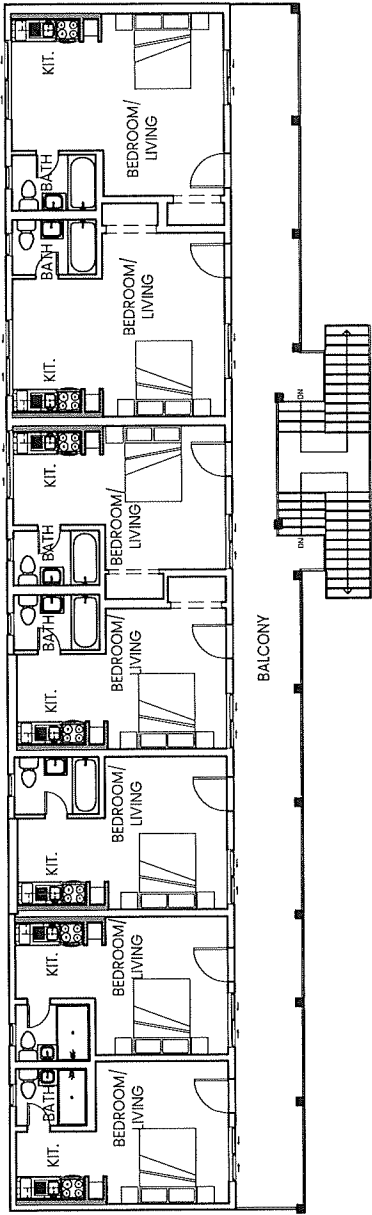
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HOUSING FIRST FLOOR A2.2

SCALE: 3/32" = 1'-0"

FLOOR PLAN WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL



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4CREEKS

HOUSING SECOND FLOOR A2.3

SCALE: 3/32" = 1'-0"



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ARCHITECTURE

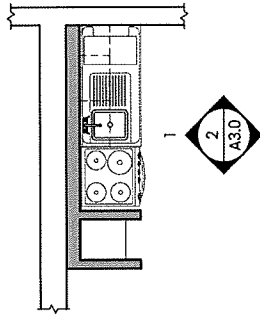
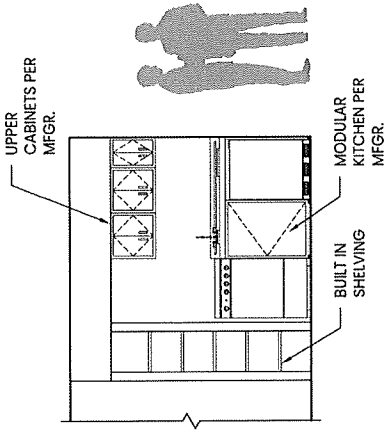
PLANNING

CIVIL

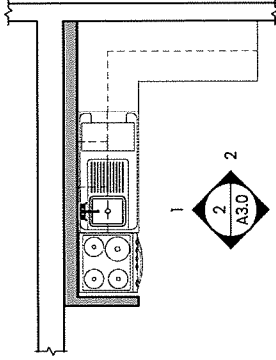
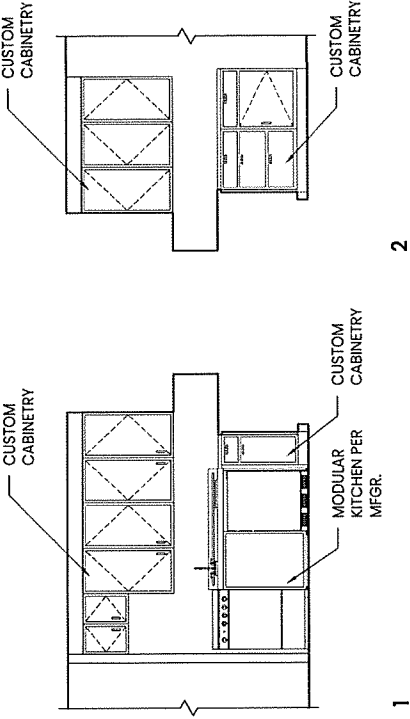
UTILITIES

STRUCTURAL

SURVEYING



1 KITCHENETTE OPTION 1
SCALE: 1/4" = 1'-0"



2 KITCHENETTE OPTION 2
SCALE: 1/4" = 1'-0"



KITCHENETTE OPTIONS **A2.4**

**Attachment #5 – Groveland Community Hall Restoration
Project**

Restoration of Groveland Community Hall
Project Number 024153
Stakeholder Meeting No. 1 – Community

Meeting Number: 1
 Meeting Date: November 12, 2024
 Location: CRC, Groveland

Attendees:
 Maureen Frank – County of Tuolumne (MF)
 Michael Roberson – County of Tuolumne (MR)
 Mike Davey – Lionakis (MD)
 Candace Harrison – Lionakis (CH)
 Community Members (CM)

Item No.	Action	Subject/Comment
1.1		Welcome and Introductions
1.2		Purpose of Meeting / Project background - This is the first community meeting to gain input before starting plan development. - County has been working with insurance company. - Balfour was brought in by insurance company to clean and safe off building. - Fire primarily damaged trusses and front facade in main hall with water damage from fire department putting out fire along with smoke damage to many finishes and equipment. Ceilings and drywall from many walls on first level and basement removed to prevent mold. - County hired Balfour to prepare plans for truss replacement. Mo and Michael took over project and determined best approach was to roll all scope into one package. Didn't make sense to do just trusses ahead of everything else. - An emergency declaration was not procured so County had to issue RFQ which was awarded to Lionakis. Lionakis scope includes full design through construction administration including all engineering. - Lionakis has historic consultant on Team, Page & Turnbull. - Insurance will replace only what was damaged in kind along with required code upgrades. - Second Stakeholder meeting will be with HPRC, Community and STCHS on 12/2 from 4-6 at County Admin Building in Sonora. Historic Consultant Page & Turnbull will be attending. - With Measure Z not passing there won't be a possibility of additional County funding for project.
1.3		Review of Building - Present Matterport scan of building with exterior photos showing existing conditions.

Item No.	Action	Subject/Comment
1.4	CM / MF / MR	Discussion and Public Input - Design Team request for interior photos of building for reference. - Community is in need for storage options, especially if basement can no longer be used. Storage is a major concern. - Items of importance that were in Hall before fire to be verified if they have been stored somewhere. Or if damaged in fire they should be replaced: Podium framed photo, screen on wall. - Discussed community raising money to fund certain elements of project if insurance money will not cover. AV system, wireless locks, etc. County confirmed this is possible. A bid alternate could be included in plan set to separate it out from insurance scope of work. - Need to make sure wall of storage at the upper level gets replaced. This was damaged in fire and walls removed. Storage is needed. - A/V system won't be covered by insurance, but fund raising can occur to help pay for it. - Michael and Mo are working with insurance company on what kitchen equipment can be salvaged and what needs to be replaced. Equipment is now being stored in storage container. All will need to be tested if re-use is considered. - Has a Hazmat report been prepared? - Can rear stairs be replaced? Safety concern. Mostly likely not through insurance. Lionakis and County will review with Building Department to see if any upgrades required by code.
	CM	- The squares on the front façade are from quilting. It is part of a map that can be given to tourists. A community member is going to provide a copy of the map. - Front of building: - o Need to replace bulletin boards. Suggestion to provide one that is lockable with glass or plexiglass for County use and one that is open for anyone to post. - Garbage can area at corner is no longer there. It would be good to replace. Currently no public trash cans in area. - Concern to leave front doors as is. If hardware has to be replaced with code upgrades make sure it matches original character. * Doors do not appear to be original. - Request to include power outlets outside the building for Christmas lights and other maintenance units. Verify with insurance. - Can we utilize historic displays on the outside of the building to engage tourists of what occurred inside the building? - Will the insurance company pay to bring the building up to code? (MF) Some items, which needs to be verified. County and Lionaksi to have meeting with Building Department to understand what code upgrades will be required given historic nature of building.

Item No.	Action	Subject/Comment
		- Current front canopy a danger as it forces people to walk in the street. Lionakis to review with structural engineer to see if it can be removed now. If so, County will work on removing so that construction fence can be moved to building edge and sidewalk access can be restored. - Only accessible ingress will be the front door. No way to make back area accessible. Lionakis will be reviewing with Building Official. - Comment that the use of the building has to be affordable for groups. - Is there an opportunity to negotiate with insurance to not add back walls and drywall in basement and instead put money into first level? Most likely not. - Can County come up with alternatives for storage in community if storage inside basement will not be allowable. - Would like to see the t-bar ceiling not come back. - There was a stage with curtain on the north side. Look at including a rail that could bring back this function. - Can conduits for future AV be roughed in? - Large monitor in main hall should be replaced. - Request that we look beyond the community groups for money – Tesla for example which could pay for things like solar panels. - What temporary measures can be done to improve the current eye sore that the building currently is? - o Could this be a Design Charette? - o STCHS, HPRC, and Page and Turnbull would need to be involved. - o First, remove the entry canopy and move the fence back. ▪ Will insurance be okay with the fence being to close to the building? - What is deadline for community funded enhancements? By January 2025, right now. To be verified. - Keyless entry is a wish list (insurance won't cover it). - Suggestion to pick one group or community liaison to head fund raising effort. - Can additional work funded by community be done by local contractor separate from project GC? Possible but not likely with liability with County. Better to do as one project. Design Team and County can develop bid alternates to make it easy to separate out for insurance.
1.5		Discussion and Public Input – Basement Use - Lack of use major Concern for the Community - Insurance company is telling the County this area cannot not be used any longer. It is a fire risk. Also a health hazard. From gas station across the street.

Item No.	Action	Subject/Comment
		- What can be stored in the basement? Chairs and tables from first floor? Other? ▪ The County is still working on this. - Basement used to be used as Courtyard and at one time as Library. - County will continue to work with insurance company to understand limits of use.
1.6		Project Schedule Going Forward - Stakeholder Meeting No. 2 (HPRC, STCHS, Community): 12/2/24 at 4pm. Location: County Admin Building, 48 Yaney Ave, Sonora. - Stakeholder Meeting No. 3: 1/14/24, 2-4pm. Location: CRC, Groveland. *to be confirmed - Schematic Design: complete end January 2025. - Design Development: complete mid-March 2025. - Construction Documents complete mid-April 2025. - Bidding: July 2025. - Construction (10 months): complete June 2026.
1.7		Closing / Next Steps - Next Stakeholder meeting is on 12/02 at 4pm with HPRC, STCHS and Community invited. - Lionakis and County will be meeting with Building Department to verify what code upgrades will be required. - County / Community groups to look into what can be done to the front of the building now to make it more attractive with long duration before project completion. - Strong public comment on what can be done in the basement. County to continue to work with insurance. - Community members to send any additional comments to Mo at mfrank@co.tuolumne.ca.us. - Community to consider organizing and setting up fund raising group.

These notes represent Lionakis' understanding of the discussion and events of the meeting. These notes form the basis of future work. Should there be any incomplete or inaccurate information contained herein, please notify this office immediately for appropriate action. This report, if not corrected within five (5) days of receipt, shall be acknowledged as an accurate report of the events that took place at this meeting.