



HISTORIC PRESERVATION REVIEW COMMISSION



TERRY BREJLA, CHAIR
LISA DEHART, VICE CHAIR

HISTORIC PRESERVATION REVIEW COMMISSION BOARD OF SUPERVISORS CHAMBERS, 4TH FLOOR 2 SOUTH GREEN STREET

August 7, 2023

4:00 p.m.

You also may submit written comments by U.S. Mail to 2 South Green Street, Sonora, CA 95370 or email (DRuby@co.tuolumne.ca.us) for retention as part of the administrative record. Comments will not be read during the meeting. For

PUBLIC FORUM: 15 minutes

The public may speak on any item not on the printed agenda. No action may be taken by the Commission.

COMMISSION BUSINESS:

- A. Minutes of the meeting of April 3, 2023.
- B. Minutes of the meeting of May 9, 2023.
- C. Reports from Staff and Commissioners

PUBLIC HEARINGS:

- 1. Presentation and comments on proposed remodel of the Washington Street Courthouse.
- 2. Presentation on the Jamestown and Main Street Revitalization Project and consideration of selecting the tree variety planted on Main Street and providing direction on the gateway sign.

COMMITTEE REPORTS:

- 1. **Demolition Review Committee** – Committee report; take action as necessary.
- 2. **Grant Committee** – Committee report; take action as necessary
- 3. **“Preserve America” Committee** – Committee report; take action as necessary.

ADJOURNMENT

The Minutes, Staff Reports, and other documents for the items referenced in this Agenda are available for review at the Tuolumne County Community Development Department, 48 Yaney, Sonora, California, and online at <https://www.tuolumnecounty.ca.gov/140/Historic-Preservation-Review-Commission>. Any other materials related to the items referenced in this Agenda that are provided by the County to the HPRC Commissioners prior to the meeting are available for review at the Tuolumne County Community Development Department, 48 Yaney, Sonora, California, and will be available at the meeting. Any materials provided to the Commissioners during the meeting by the County will be available for review at the meeting, and materials provided by the public will be available for review at the Community Development Department the day following the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (209) 533-5633. Notification 48 hours prior to the meeting will enable the County to make reasonable arrangements to ensure accessibility.

s:\commissions\hprc\2023\agenda\8-7-2023hprcagenda.doc



County Administration Office

Tracie M. Riggs
County Administrative Officer

Eric L. Erhardt
Assistant County Administrative Officer

July 11, 2023

To: Historic Preservation Review Committee

From: Eric Erhardt – Assistant County Administrative Officer

Subject: Presentation and comments on proposed remodel of the Washington Street Courthouse.

Background

Originally constructed in 1928 as Lowell Ralph's Chrysler Dealership, 60 N. Washington Street has been owned by Tuolumne County since 1949. This building is now comprised of two separate structures. In 1993-1994 a smaller building on the adjoining southside, constructed in the 1850's, was connected to 60 N. Washington Street to make additional room for the Central Justice Court. By way of a court order in 1990, the Central Justice Court was required to move out of the Veterans Memorial Hall in downtown Sonora where it was previously located. Prior to becoming what is now referred to as the "Washington Street Courthouse" this building served as the county facilities maintenance office.

To accommodate the operations of the Court, the county remodeled the building, which was primarily a large open space, with two court rooms, offices, jury room, restrooms and a lobby. Since the mid 1990's that building served as a courthouse until the Tuolumne County Superior Courts moved out in November of 2021. Today the County intends to make renovations to the interior of the building to accommodate the Office of the Public Defender and Conflict Counsel. These proposed renovations will be limited to the interior of the building, leaving the facade and exterior in its present condition. A new roof and HVAC system was put in place just prior to the Courts moving out. Any work done on the exterior will be limited to routine maintained such as repainting and cleaning.

The County had previously hired Lionakis, an architectural firm, to do a space needs study in which multiple county departments and available county owned spaces were evaluated. The Office of Public Defender and the Conflict Counsel are currently located in a leased building located at 99 N. Washington Street. The annual rent is approximately \$49,000 per year. As part of the space needs study, a proposed floor plan was developed. That floor plan was used in a solicitation for plans, specifications, and construction documents and assistance. That request for proposals (RFP) was published in October of 2023. The RFP was open for 3 weeks and notices were sent to surrounding architectural firms. No formal bids were received. Staff then began reaching out directly to architectural firms locally as well as in the central valley. Eventually, staff was able to get two proposals for this project. Of the two, Lionakis was the lower bidder and proposed additional services not listed in the second proposal.

"We Support the Board of Supervisors in achieving their goals through service & collaboration with the County Departments and the Community"

On May 2nd, 2023, The Board of Supervisors approved an agreement for construction documents, bid assistance and construction administration related to the remodel of the Washington Street Court house in an amount not to exceed \$90,300. Lionakis has since begun developing all the required documents and completing necessary evaluation to prepare specs and plans for the proposed remodel.

As this structure is considered a cultural resource under the Tuolumne County Ordinance Code 14.04.100, this project is being presented to the Historic Preservation Review Committee for review. Tuolumne County Ordinance Code 2.38.090 subsection J states *“The Commission shall act as an advisory agency to review projects with the potential to impact cultural resources on Tuolumne County-owned property and shall encourage construction or modifications of Tuolumne County-owned properties, which contain or are adjacent to cultural resources, to be accomplished in a manner that is consistent with the Secretary of the Interior’s Standards as defined in Section 14.04.390 of this Code.”*

During the August 7th Historic Preservation Review Committee meeting, County staff will present the proposed project for review and comments. The project will focus primarily on the interior of the building, removing some of the walls that were erected in the 1993-94 remodel and putting new ones in place to accommodate the Public Defenders staff. Currently the building has two court rooms, three offices, a large open work area for staff, a break room, two public restrooms and three private restrooms. The proposed project would create 11 individual offices, a conference room, two secure client meeting rooms, maintain the break room, two public restrooms and two private bathrooms while still leaving a large open work area. The proposed floor plan changes can be viewed in attachment A which depicts the building as it is today and what is being proposed.

It is expected staff will have final plans and specs prepared for the Board of Supervisors in September. The Board will be asked to approve the plans and specs for the project which will allow staff to submit the plans for permits and to put the project out for bid. Comments from the Committee will be presented to the Board of Supervisors.

Recommendation

This is a presentation and staff request comments on the proposed project.

B.A-101

IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

Autodesk Docs/2/07/21 Washington Street/21077.01_ARCHMASTER_A_R22_CENTRAL.v1

8/2/2023 8:33:38 PM



COUNTY OF TUOLUMNE

HISTORIC WASHINGTON STREET COURTHOUSE

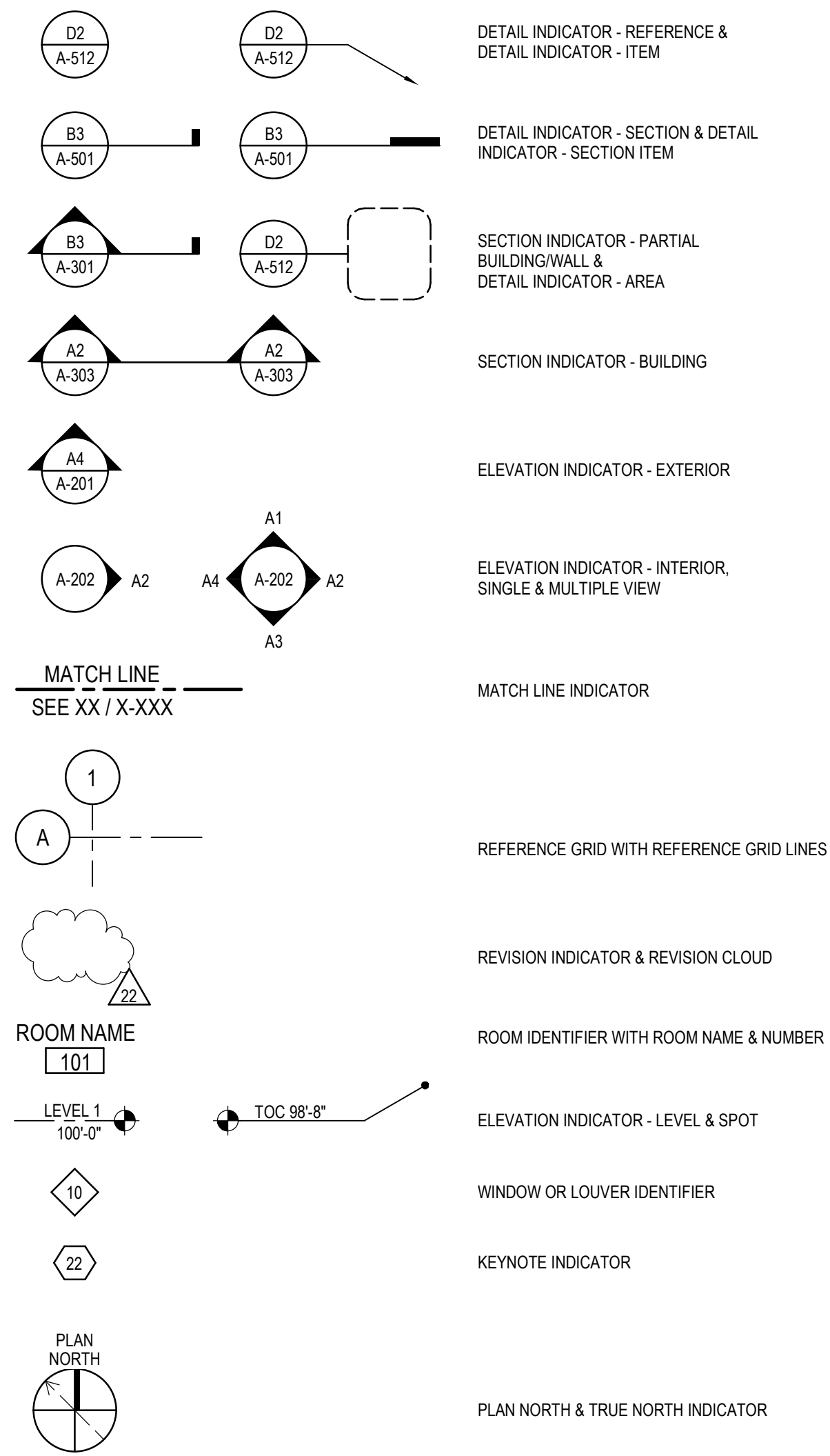
60 NORTH WASHINGTON STREET
SONORA, CA 95370

WASHINGTON STREET COURTHOUSE

TENANT IMPROVEMENT

PROGRESS REVIEW SET - AUGUST 3, 2023

ARCHITECTURAL SYMBOLS LEGEND



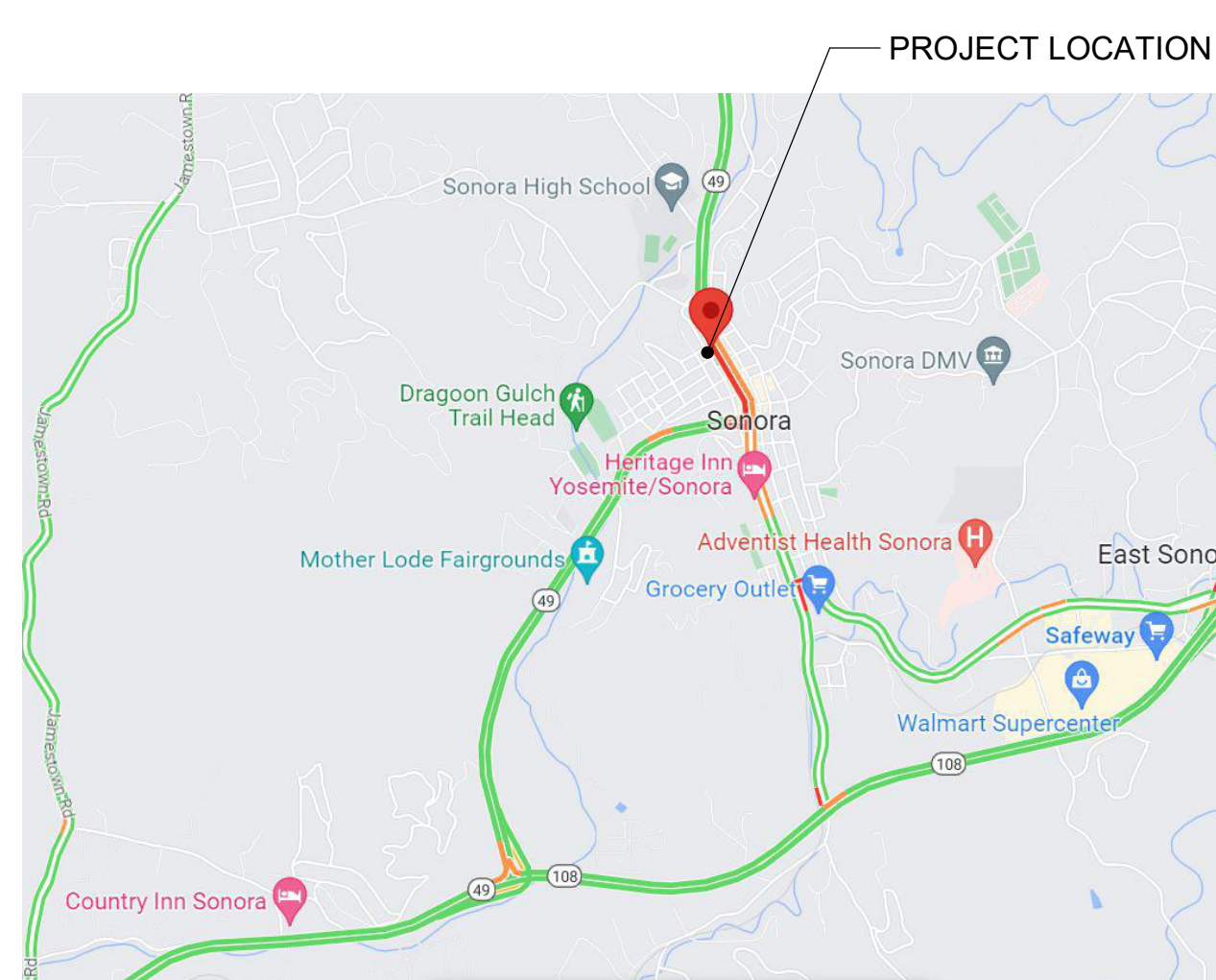
LIST OF ARCHITECTURAL ABBREVIATIONS

& (E) - # ALUM ARCH A/C UNIT A/E AB AC ACC ACS DR ACS PNL ACST AD ADC ADO ADDL ADJ SHV AFF AFG AGGR AHU ASSY BD BKG BLDG BM BM BOT BTWN BUR BW C CAB CB CBC CEM CEM PLAS CFLG CFMF CG CI CJ CL CLG CLR CMU CNTR CO COL CONC CONSTR CONT COTG CP CPT CRS CSK CSWK CT CTR DBL DEPT DET LAV	SEE UNITED STATES NATIONAL CAD STANDARD FOR ANY ABBREVIATIONS NOT LISTED BELOW. AND AT EXISTING FOOT, FEET INCHES NUMBER ALUMINUM ARCHITECTURAL AIR CONDITIONING UNIT ARCHITECT / ENGINEER ANCHOR BOLT ASPHALTIC CONCRETE ACCESSIBLE ACCESS DOOR ACCESS PANEL ACOUSTIC AREA DRAIN AUTOMATIC DOOR CLOSER AUTOMATIC DOOR OPERATOR ADDITIONAL ADJUSTABLE SHELVING ABOVE FINISHED FLOOR AGGREGATE AIR HANDLING UNIT ASSEMBLY BOARD BACKING BUILDING BEAM BENCHMARK BOTTOM BETWEEN BUILT-UP ROOFING BOTH WAYS CHANNEL CABINET CATCH BASIN CALIFORNIA BUILDING CODE CEMENT CEM PLASTER COUNTERFLASHING COLD-FORMED METAL FRAMING CORNER GUARD CAST IRON CONSTRUCTION JOINT / CONTROL JOINT CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT COUNTER CLEANOUT COLUMN CONCRETE CONSTRUCTION CONTINUE / CONTINUOUS CLEANOUT TO GRADE CONTROL PANEL CARPET COLD ROLLED STEEL COUNTER SUNK CASEWORK CERAMIC TILE CENTER DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN	DHM DIA DIM DS DSP DWG DWR EA EGSB EIFS EJ EL ELEC ELEV EMER ENCL EPB EQ EQUIP EW EWC EXHA EXST EXP EXT FA FB FDN FDTN FE FEC FIN FLG FLL FLR FPC FOS FOM FOS FOW FP FRP FT FTG FURG FUT G GA GALV GB GI GLU LAM GYP HB HC HDBD HDW HDWD HM HORIZ HR HT ID INSUL INT JAN KIT LAB LAV	DETENTION HOLLOW METAL DIAMETER DIMENSION DOWNSPOUT DRY STANDPIPE DRAWING DRAWER EACH EXTERIOR GYPSUM SHEATHING BOARD EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT ELEVATION ELECTRIC / ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EACH WAY ELECTRIC WATER COOLER EXHAUST EXISTING EXPANSION EXTERIOR FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOORING FLOW LINE FLOOR FACE OF CONCRETE/CURB FACE OF FINISH FACE OF MASONRY FACE OF STUD FACE OF WALL FIREPROOF FIBERGLASS REINFORCED PLASTIC FEET / FOOT FOOTING FURRING FUTURE GROUND; NATURAL GAS GAGE GALVANIZED GRAB BAR GALVANIZED IRON GLUED LAMINATED WOOD GYPSUM HOSE BIB HOLLOW CORE HARDBOARD HARDWARE HARDWOOD HOLLOW METAL HORIZONTAL HOUR HEIGHT INSIDE DIAMETER INSULATION INTERIOR JANITOR KITCHEN LABORATORY LABORATORY	MATL MAX MECH MEMB MFR MH MIN MISC MO MR MTD MTL MULL NIC NO NOM NTS O/ OC OFICI OFF OGL OPH OPNG OPPOSITE PAF PL PLAM PLB PLBG PLYWD PNL PROP PSF PSI PT PTN PV QT R RD REBAR REF REF REINF REOD RESIL RM RO RWD RWL SAD SATC CEILING SB SC SCHED SD SDST SHT SHTHG SHV SIM SLNT SM SPEC SQ SS SST	MATERIAL MAXIMUM MECHANICAL MEMBRANE MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MOUNTED METAL MULLION NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVER ON CENTER OUTSIDE DIAMETER OWNER FURNISHED / CONTRACTOR INSTALLED OFFICE OPSCURE GLASS OPPOSITE HAND OPENING OPPOSITE POWER ACTUATED FASTENER PROPERTY LINE, PLATE PLASTIC LAMINATE PLUMB PLUMBING PLYWOOD PANEL PROPERTY POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PAINT; PAINT PARTITION PHOTOVOLTAI QUARRY TILE RADIUS; RISER ROOF DRAIN REINFORCING STEEL BAR REFERENCE REFRIGERATOR REINFORCE / REINFORCING REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER SEE ARCHITECTURAL DRAWINGS SUSPENDED ACOUSTICAL TILE CEILING SPLASH BLOCK SOLID CORE SCHEDULE STORM DRAIN SELF DRIVING, SELF TAPPING SHEET SHEATHING SHELVING SIMILAR SEALANT SHEET METAL SPECIFICATION SQUARE ANGLE SANITARY SEWER; SERVICE SINK STAINLESS STEEL	STD STL STOR STRUCT SUSP CLG SV SYMM SYS T T&G TEL THK TMH TMPD TO TOC TOF TOJ TOM TOP TOPO TOS TOW TV TYP UC UNO UON UR VCT VERT VEST VIF VWC VWF W/ W/O WC WD WH WO WP WPM WVCT WT WTR WWR	STANDARD STEEL STORAGE STRUCTURAL SUSPENDED CEILING SHEET VINYL SYMMETRICAL SYSTEM TREAD TONGUE & GROOVE TELEPHONE THICKNESS TOP OF MANHOLE TEMPERED TOP OF TOP OF CURB TOP OF FRAME TOP OF JOIST TOP OF MASONRY TOP OF PARAPET TOPOGRAPHY TOP OF STEEL TOP OF WALL TELEVISION TYPICAL UNDER COUNTER/CABINET UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING VINYL WALL FABRIC WITH WITHOUT WATER CLOSET WOOD WATER HEATER WHERE OCCURS WORKING POINT WATERPROOF MEMBRANE WAINSCOT WEIGHT WATER WELDED WIRE REINFORCEMENT
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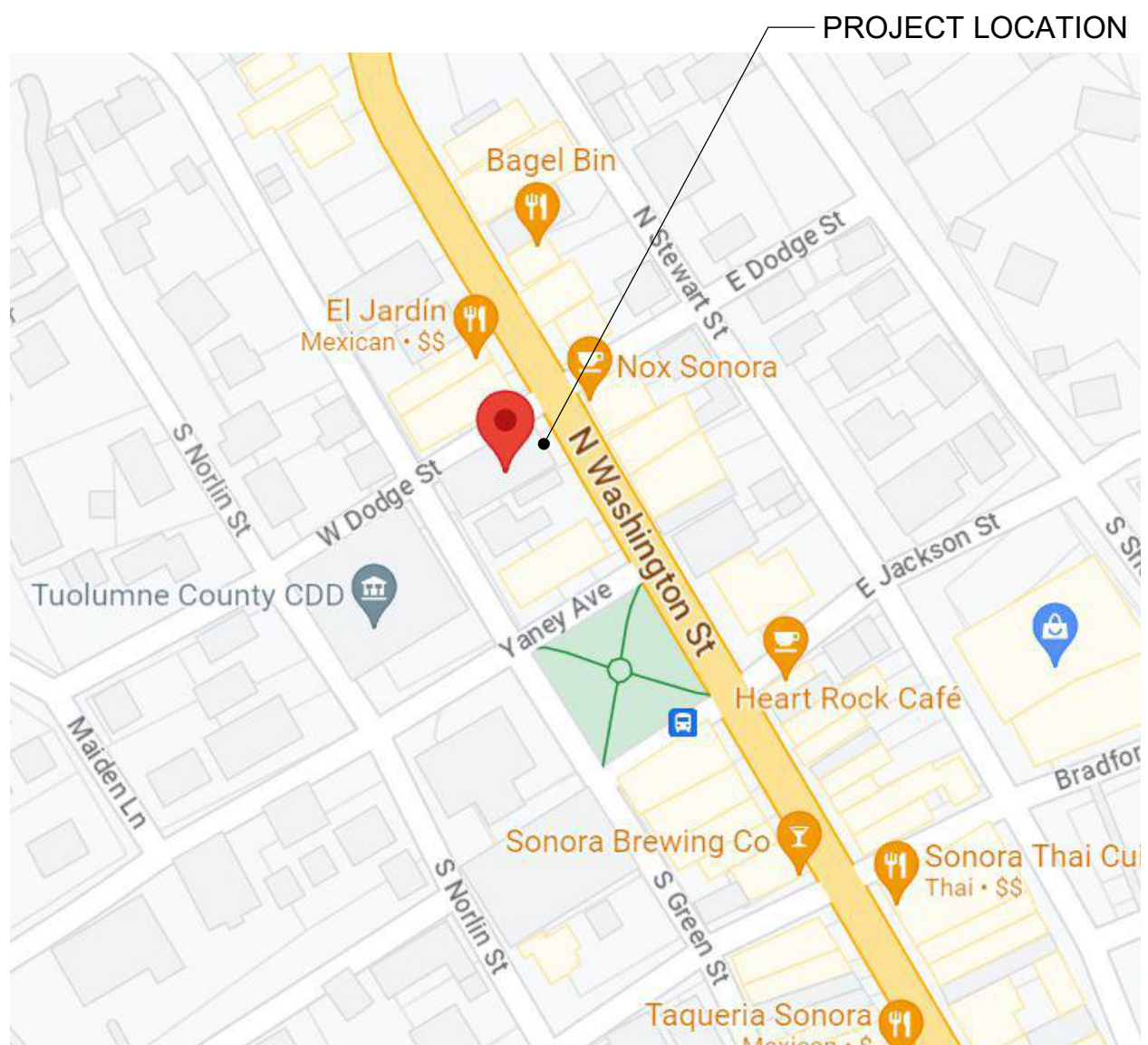
SHEET INDEX

GENERAL G-001 COVER SHEET GL111 LIFE SAFETY FLOOR PLAN GA521 DETAILS - INTERIOR - ACCESSIBILITY GA522 DETAILS - INTERIOR - ACCESSIBILITY GA541 DETAILS - DOOR - ACCESSIBILITY	ARCHITECTURAL AD111 DEMOLITION FLOOR PLAN AD121 DEMOLITION CEILING PLAN A-111 FLOOR PLAN A-121 CEILING PLAN A-131 ROOF PLAN A-211 ELEVATIONS - EXTERIOR A-221 ELEVATIONS - INTERIOR A-311 SECTIONS - BUILDING A-411 LARGE SCALE VIEWS & INT. ELEVATIONS - RESTROOMS A-521 DETAILS - INTERIOR A-531 PARTITION TYPES & SCHEDULE A-551 DETAILS - CEILING A-561 DETAILS - CASEWORK A-571 DETAILS - SIGNAGE A-621 SCHEDULES / DIAGRAMS - DOORS A-132 DETAILS - INTERIOR A-522 DETAILS - INTERIOR A-523 DETAILS - INTERIOR	ELECTRICAL E-001 SYMBOLS LIST, ABBREVIATIONS, & SHEET INDEX E-002 NOTES & SCHEDULES E-130 OVERALL ELECTRICAL DEMOLITION PLAN E-230 OVERALL LIGHTING PLAN E-330 OVERALL POWER PLAN E-430 OVERALL SPECIAL SYSTEMS PLAN E-501 POWER ONE LINE DIAGRAM & ENLARGED PLAN
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LOCATION MAP



VICINITY MAP



SCOPE OF PROJECT

THE PROJECT CONSISTS OF REMODELING AN EXISTING COUNTY COURTHOUSE INTO NEW LAW OFFICES.

PROJECT DATA

REFER TO SHEET GL101 FOR CONSTRUCTION TYPE, OCCUPANCY CLASSIFICATIONS, CODE ANALYSIS AND LIFE SAFETY FLOOR PLAN.

PROJECT DIRECTORY

OWNER COUNTY OF TUOLUMNE 2 SOUTH GREEN STREET SONORA, CA 95370 CONTACT: ERIC ERHARDT PHONE: 209-533-8511 EMAIL: KSTILLMAN@CO.TUOLUMNE.CA.US	MECHANICAL ENGINEER CAPITAL ENGINEERING CONSULTANTS, INC. 11020 SUN CENTER DRIVE RANCHO CORDOVA, CA 95670 CONTACT: KEVIN STILLMAN PHONE: 916-851-3500 EMAIL: KSTILLMAN@CAPITAL-ENGINEERING.COM
ARCHITECT LIONAKIS 2025 19TH STREET SACRAMENTO, CA 95818 CONTACT: BRANDON RACHAC PHONE: 916-558-1900 EMAIL: BRANDON.RACHAC@LIONAKIS.COM	ELECTRICAL ENGINEER THE ENGINEERING ENTERPRISE 1125 HIGH STREET AUBURN, CA 95603 CONTACT: SCOTT WHEELER PHONE: 530-886-8556 EMAIL: SCOTT@ENGENT.COM
STRUCTURAL ENGINEER LIONAKIS 2025 19TH STREET SACRAMENTO, CA 95818 CONTACT: ENGINEER CONTACT NAME PHONE: 916-558-1900 EMAIL: CONTACT EMAIL@LIONAKIS.COM	

SHEET IDENTIFICATION LEGEND

DISCIPLINE DESIGNATORS - LEVEL 1 G GENERAL H HAZARDOUS MATERIALS V SURVEY/MAPPING B GEOTECHNICAL C CIVIL L LANDSCAPE S STRUCTURAL A ARCHITECTURAL I INTERIORS O EQUIPMENT F FIRE PROTECTION P PLUMBING D PROCESS M MECHANICAL E ELECTRICAL W DISTRIBUTED ENERGY T TELECOMMUNICATIONS R RESOURCE X OTHER DISCIPLINES Z CONTRACTOR/SHOP DRAWINGS O OPERATIONS	SHEET TYPE DESIGNATORS 0 - GENERAL 1 - PLANS 2 - ELEVATIONS 3 - SECTIONS 4 - LARGE SCALE VIEWS 5 - DETAILS 6 - SCHEDULES & DIAGRAMS 7 - USER DEFINED 8 - USER DEFINED 9 - 3D REPRESENTATIONS
BUILDING IDENTIFIER - WHERE OCCURS DISCIPLINE DESIGNATOR - LEVEL 1 DISCIPLINE DESIGNATOR - LEVEL 2 REPLACE DASH WHERE OCCURS SHEET TYPE DESIGNATOR SHEET TYPE SUBSET DESIGNATOR LEVEL/SEQUENCE DESIGNATOR AREA IDENTIFIER - WHERE OCCURS UNIQUE PORTION IDENTIFIER - WHERE OCCURS	

C.A-123AB

LIONAKIS

2025 Nineteenth Street
Sacramento, CA 95818
P 916.558.1900
www.lionakis.com

CONSULTANT

SEAL



PROJECT

TENANT IMPROVEMENT

60 NORTH WASHINGTON STREET
SONORA, CA 95370

CLIENT

COUNTY OF TUOLUMNE

?CLIENT ADDRESS?

ISSUED

MARK	DATE	DESCRIPTION
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MANAGEMENT

LIONAKIS PROJECT NO.	21077.01
CLIENT PROJECT NO.	100.00.007

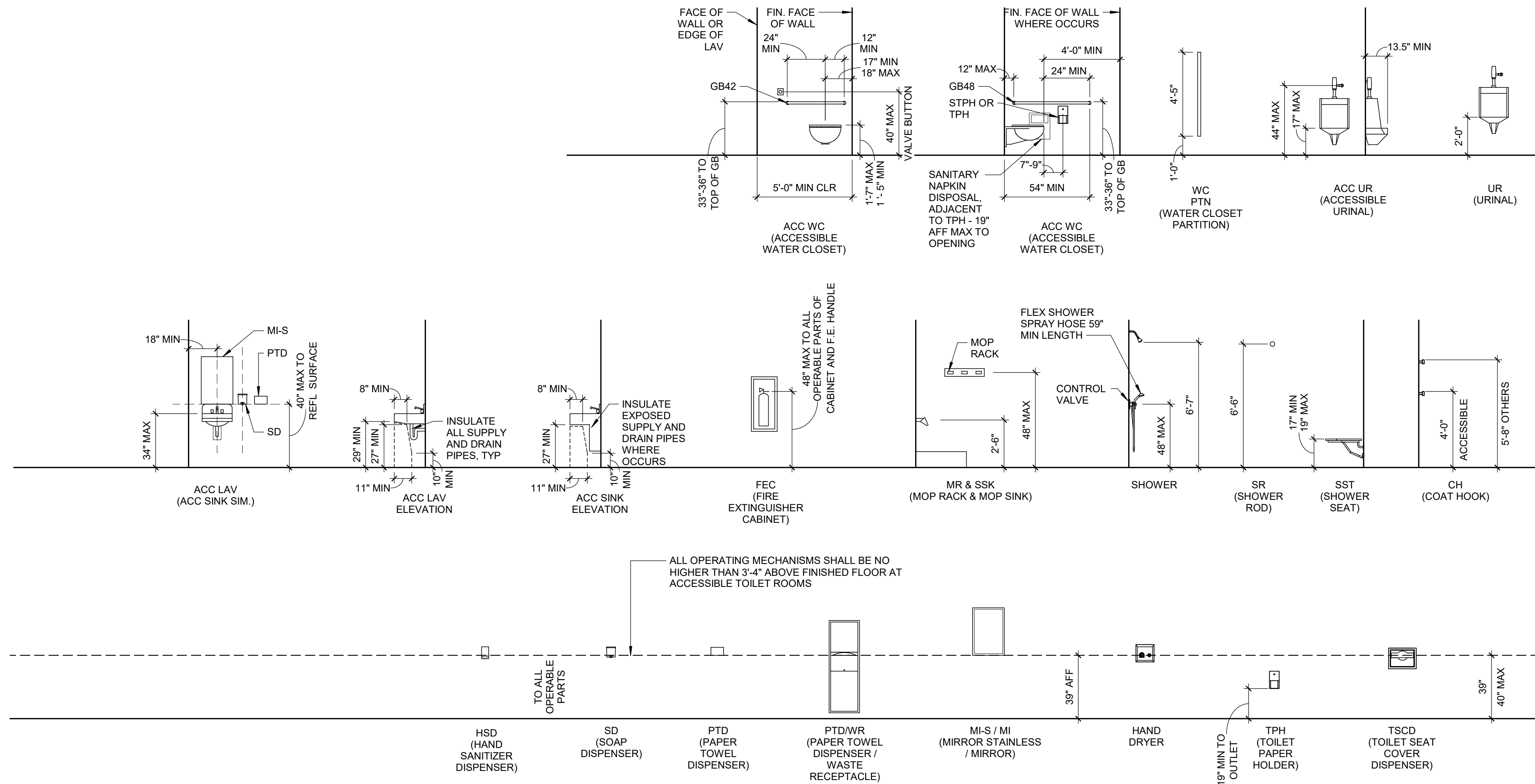
AGENCY

TITLE

COVER SHEET

SHEET

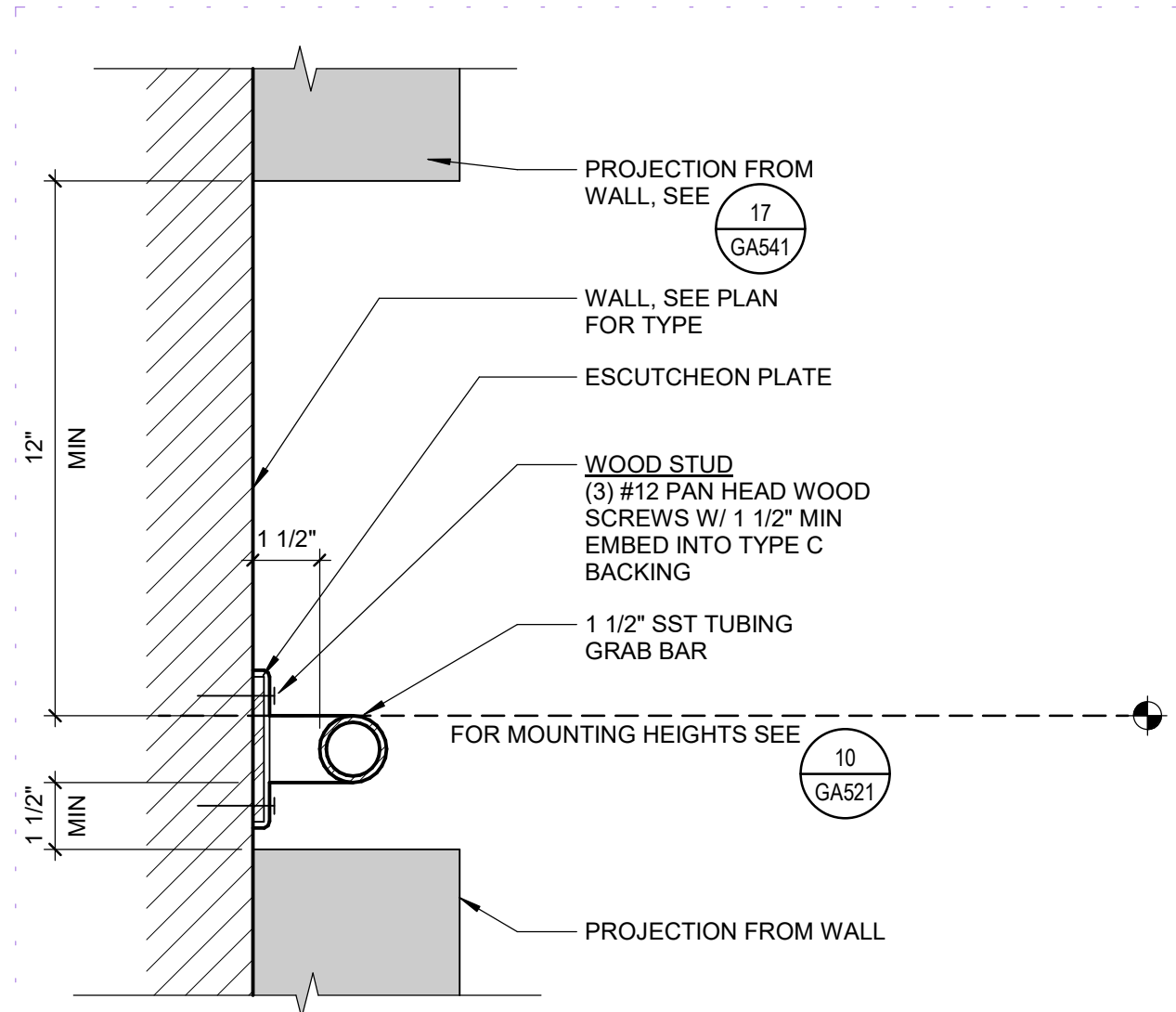
G-001



- NOTE:
1. AT ACCESSIBLE TOILET STALLS, OPENING FOR PARTITION DOOR SHALL BE MIN. 34" CLEAR, DOOR SHALL BE SELF CLOSING, AND AN ACCESSIBLE DOOR PULL SHALL BE PLACED ON BOTH SIDES OF THE DOOR NEAR THE LATCH.
 2. PROVIDE BACKING FOR ALL WALL HUNG ACCESSORIES, SEE TYPICAL BACKING DETAIL.
 3. BACKING LOCATIONS SHALL BE COORDINATED W/ ANCHORAGE LOCATIONS, TYP.
 4. SEE INTERIOR ELEVATIONS FOR DEFINITIONS OF ACCESSORY ABBREVIATIONS.
 5. WHERE WALL MOUNTED EQUIPMENT IS LOCATED ABOVE COUNTER/WORK SURFACE, HEIGHT TO OPERABLE PART SHALL BE 48" MAX. FOR PARALLEL APPROACH.
 6. WHERE WALL MOUNTED EQUIPMENT IS LOCATED ABOVE COUNTER/WORK SURFACE, HEIGHT TO OPERABLE PART FOR FORWARD APPROACH IS 48" MAX. WHEN COUNTER/WORK SURFACE IS A MAXIMUM OF 20" DEEP. WHEN REACH DEPTH IS BETWEEN 20" AND THE MAXIMUM ALLOWABLE OF 25", THE HEIGHT TO OPERABLE PARTS SHALL BE 44" MAX.
 7. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THAT MAXIMUM DIMENSIONS ARE NOT TO BE EXCEEDED AND MINIMUM CLEARANCES ARE NOT LESS THAN THE MINIMUM DIMENSIONS LISTED.

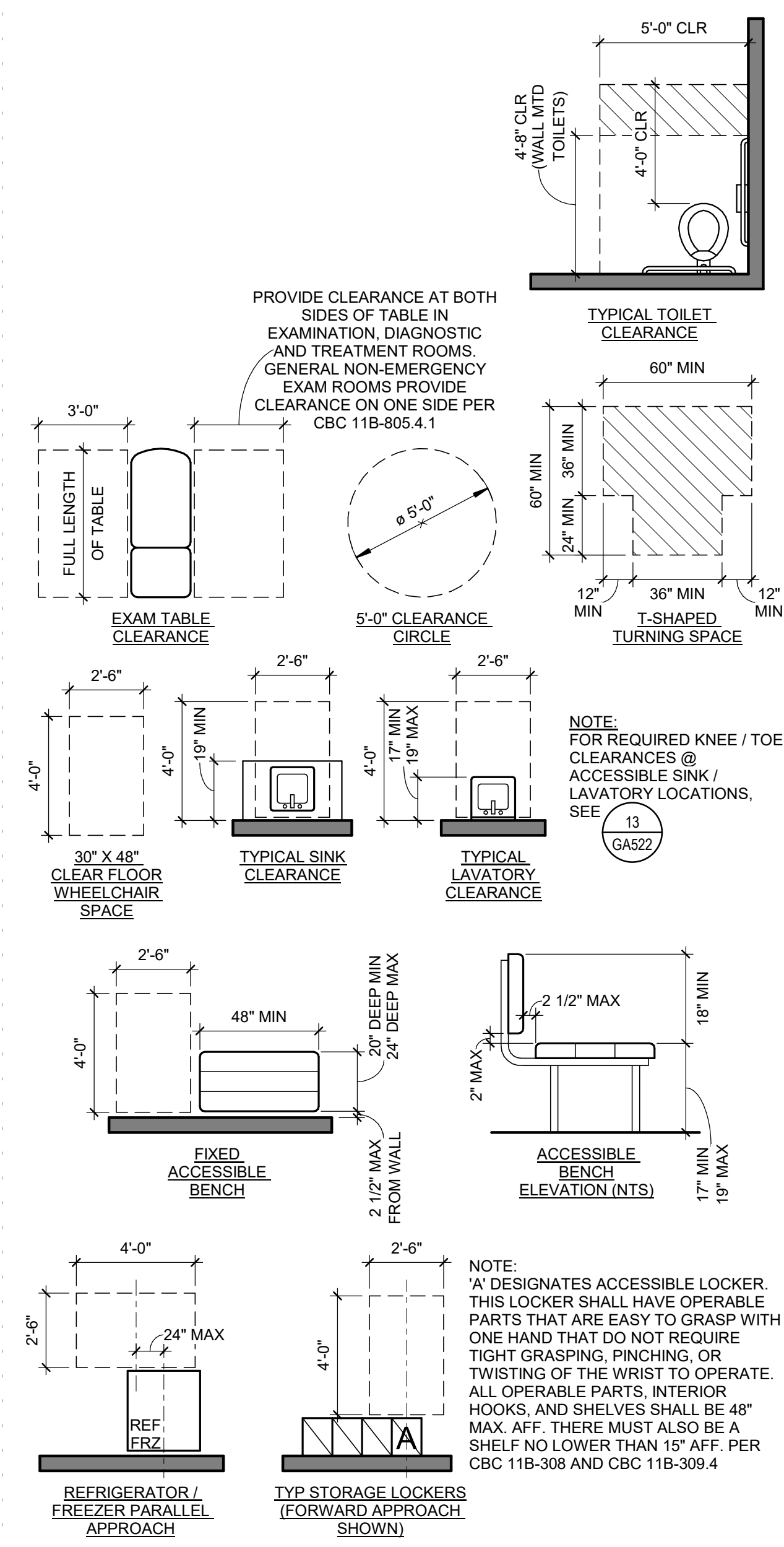
10 INTERIOR - ACCESSORIES - MOUNTING HEIGHTS & LOCATIONS

0500_0100_ACC MOUNTING HEIGHT ACCESSORIES.01
171108



16 GRAB BAR MOUNTING

0500_0100_GRAB BAR MOUNTING.01
171108



20 ACCESSIBILITY CLEARANCES

0500_0100_ACC CLEARANCES.01
171108

OFFICE OF THE STATE FIRE MARSHAL
APPROVED FIRE AND PANIC ONLY

DATE: _____

APPROVAL OF THIS PLAN DOES NOT
AUTHORIZE OR APPROVE ANY OMISSION OR
DEVIATION FROM APPLICABLE REGULATIONS.
FINAL APPROVAL IS SUBJECT TO FIELD
INSPECTION. ONE SET OF APPROVED PLANS
SHALL BE AVAILABLE ON THE PROJECT SITE
AT ALL TIMES.

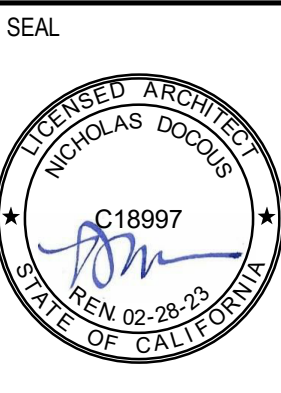
REVIEWED BY: _____

ARCHITECT

LIONAKIS

2025 Nineteenth Street
Sacramento CA 95818
P 916.558.1900 F 916.558.1919
www.lionakis.com

CONSULTANT



PROJECT

TENANT IMPROVEMENT

60 NORTH WASHINGTON STREET
SONORA, CA 95370

CLIENT

DGS

CALIFORNIA DEPARTMENT OF
GENERAL SERVICES

REAL ESTATE SERVICE DIVISION
PROJECT MANAGEMENT &
DEVELOPMENT BRANCH

?CLIENT ADDRESS?

DGS PROJECT # DGS000000004638

ISSUED		
MARK	DATE	DESCRIPTION
ASH-001	MM/DD/YYYY	ASI DESCRIPTION

INTERNAL REVIEW SET - 50% CD
AUGUST 1, 2023

MANAGEMENT

LIONAKIS PROJECT NO. 21077.01
CLIENT PROJECT NO. 700.00.007

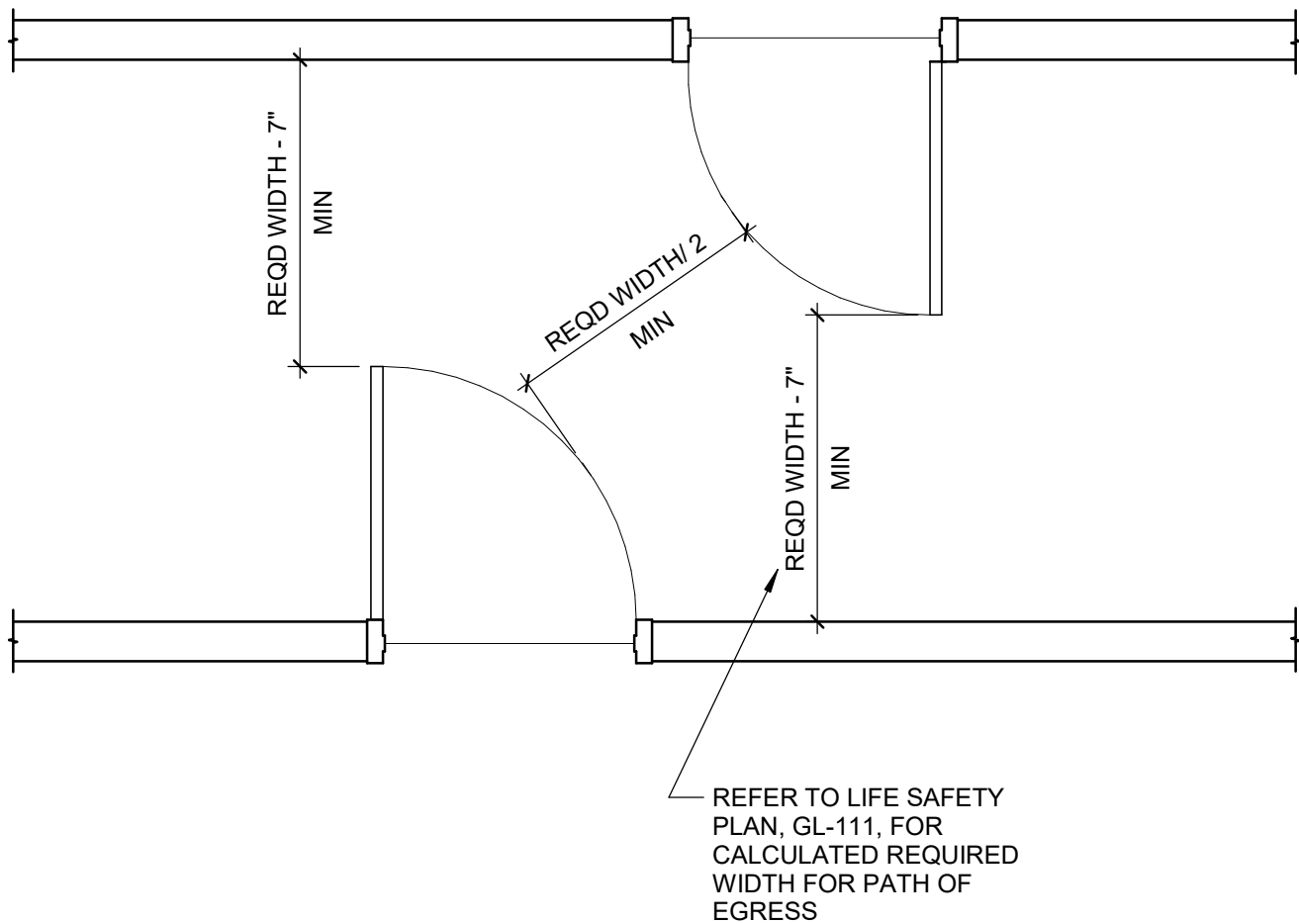
DETAILS - INTERIOR - ACCESSIBILITY

SHEET

GA521

1 DOOR ENCROACHMENT @ CORRIDOR

SCALE 1/2" = 1'-0"

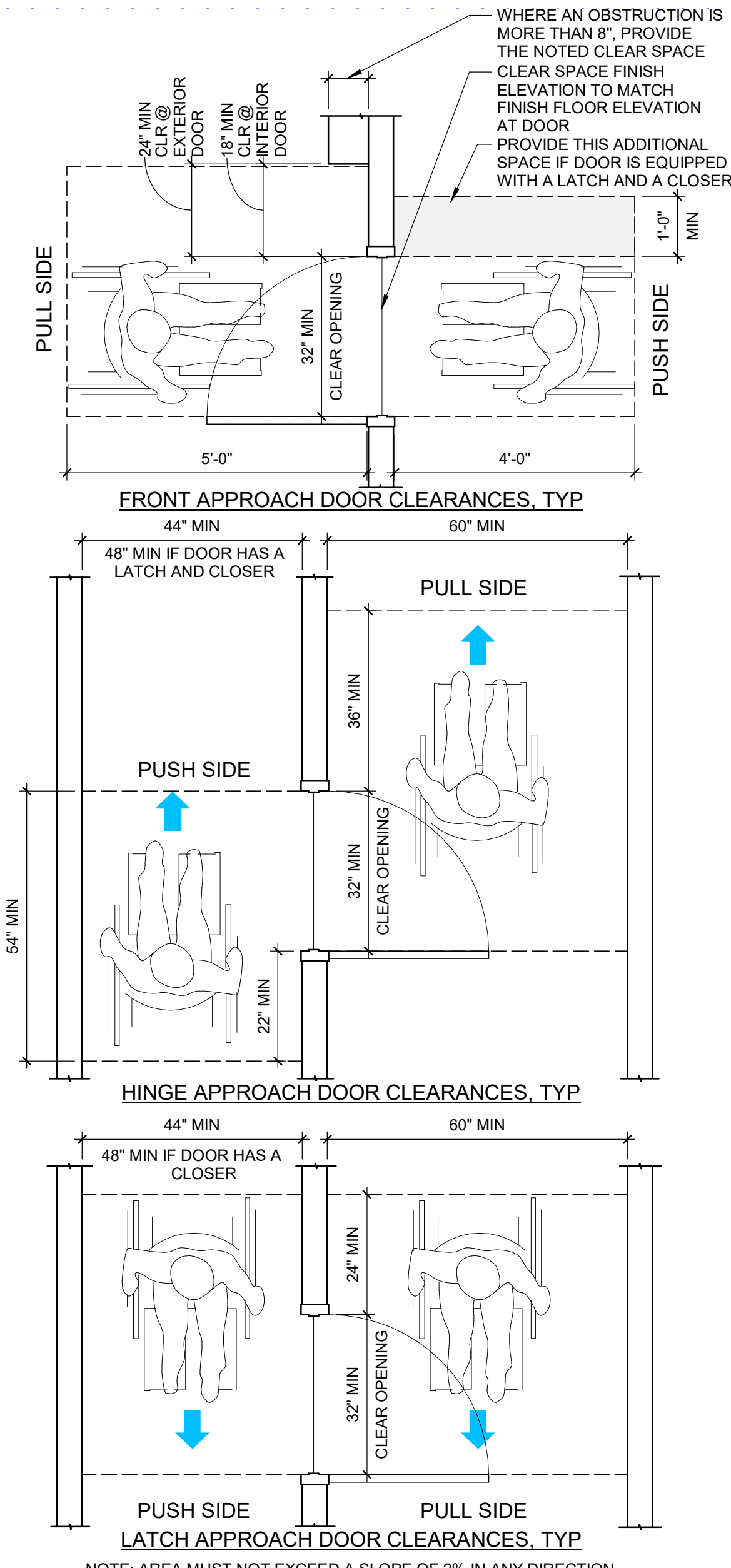


REFER TO LIFE SAFETY PLAN, GL-111, FOR CALCULATED REQUIRED WIDTH FOR PATH OF EGRESS

8 ACCESSIBLE DOOR CLEARANCES

1/2" = 1'-0"

0500_0100_ACC DOOR CLEARANCES.01

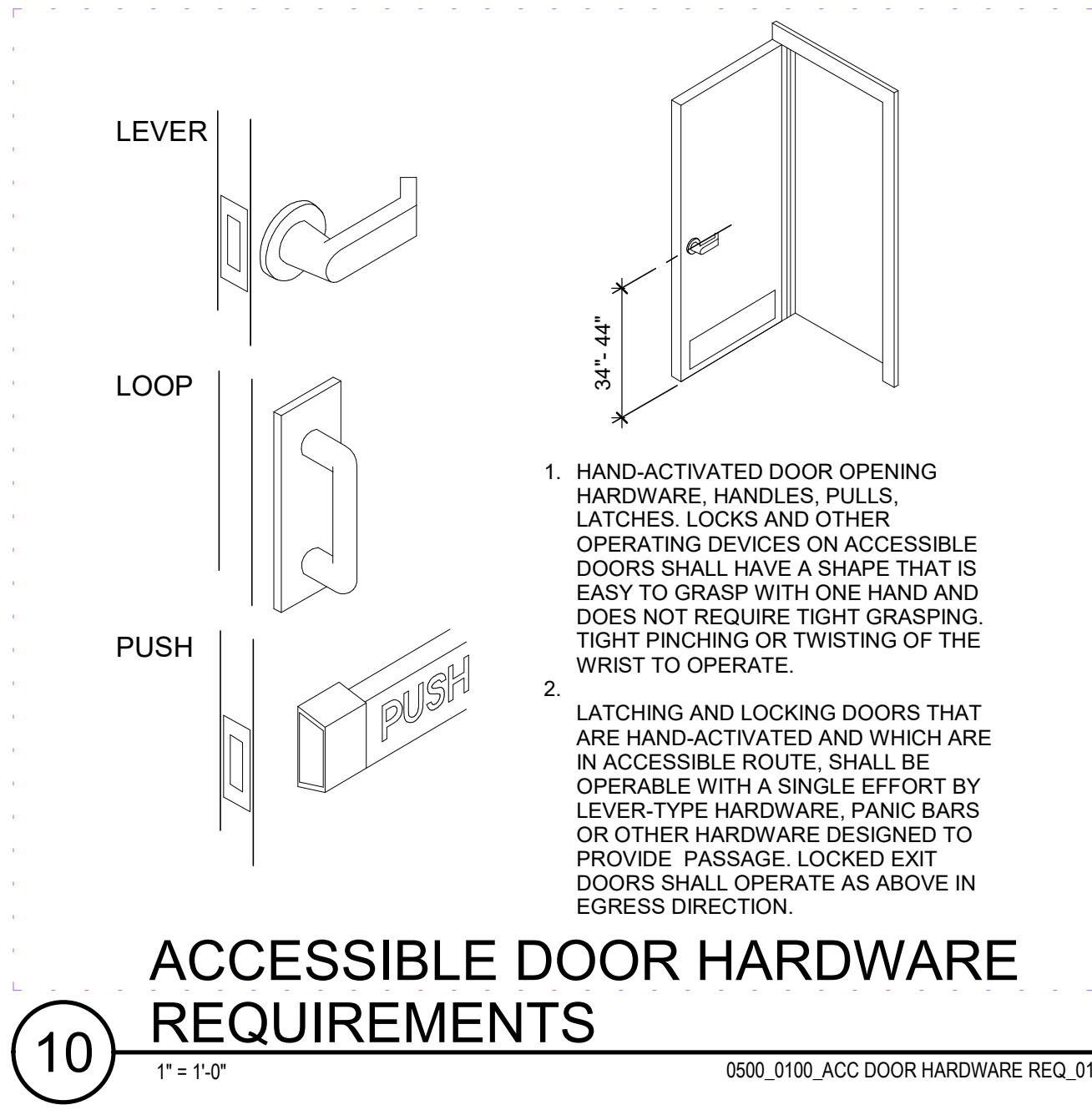


NOTE: AREA MUST NOT EXCEED A SLOPE OF 2% IN ANY DIRECTION

12 ACCESSIBLE DOOR CLOSER REQUIREMENTS

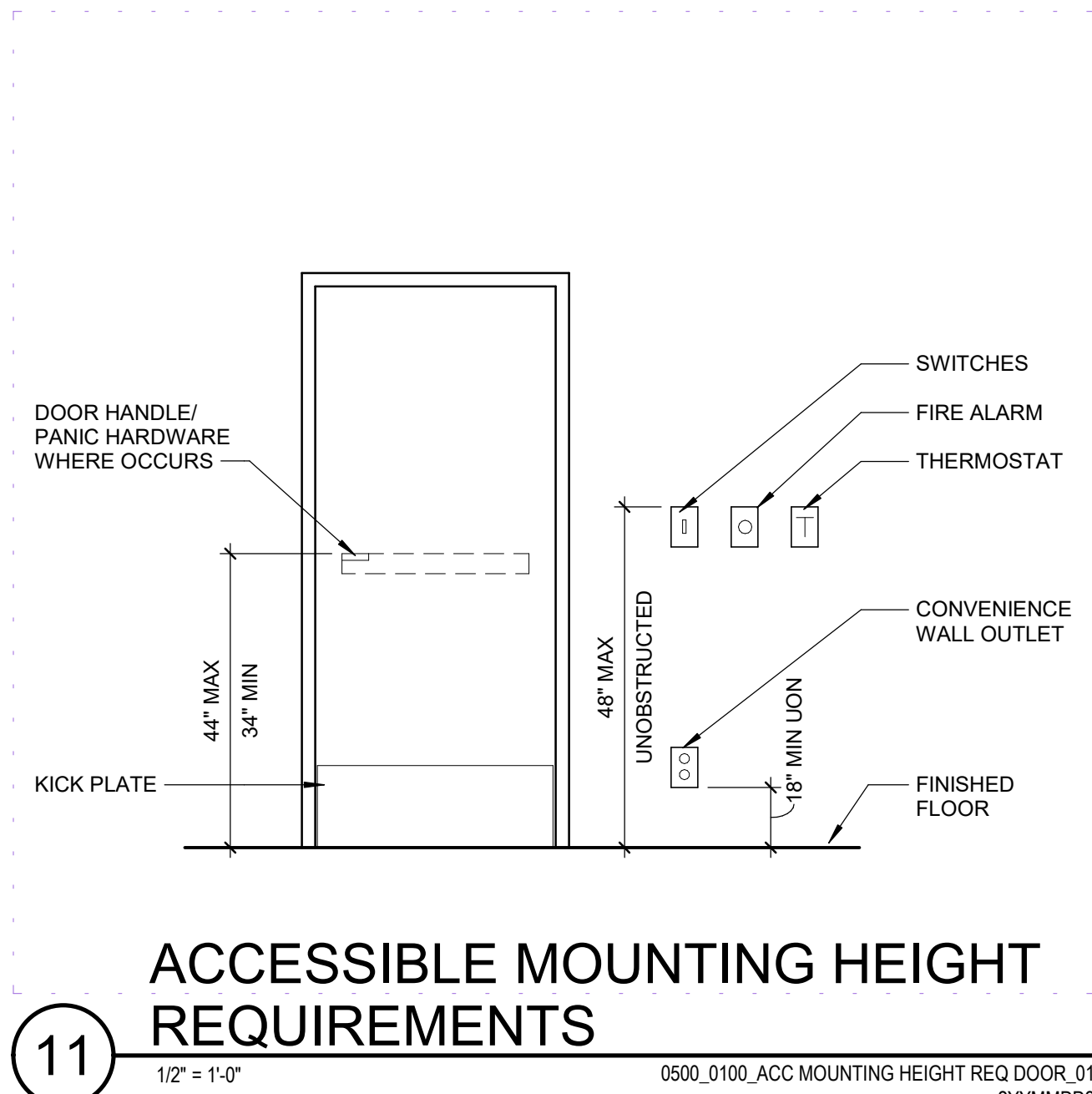
1/2" = 1'-0"

0500_0100_ACC DOOR CLOSER REQ.01



1" = 1'-0"

0500_0100_ACC DOOR HARDWARE REQ.01



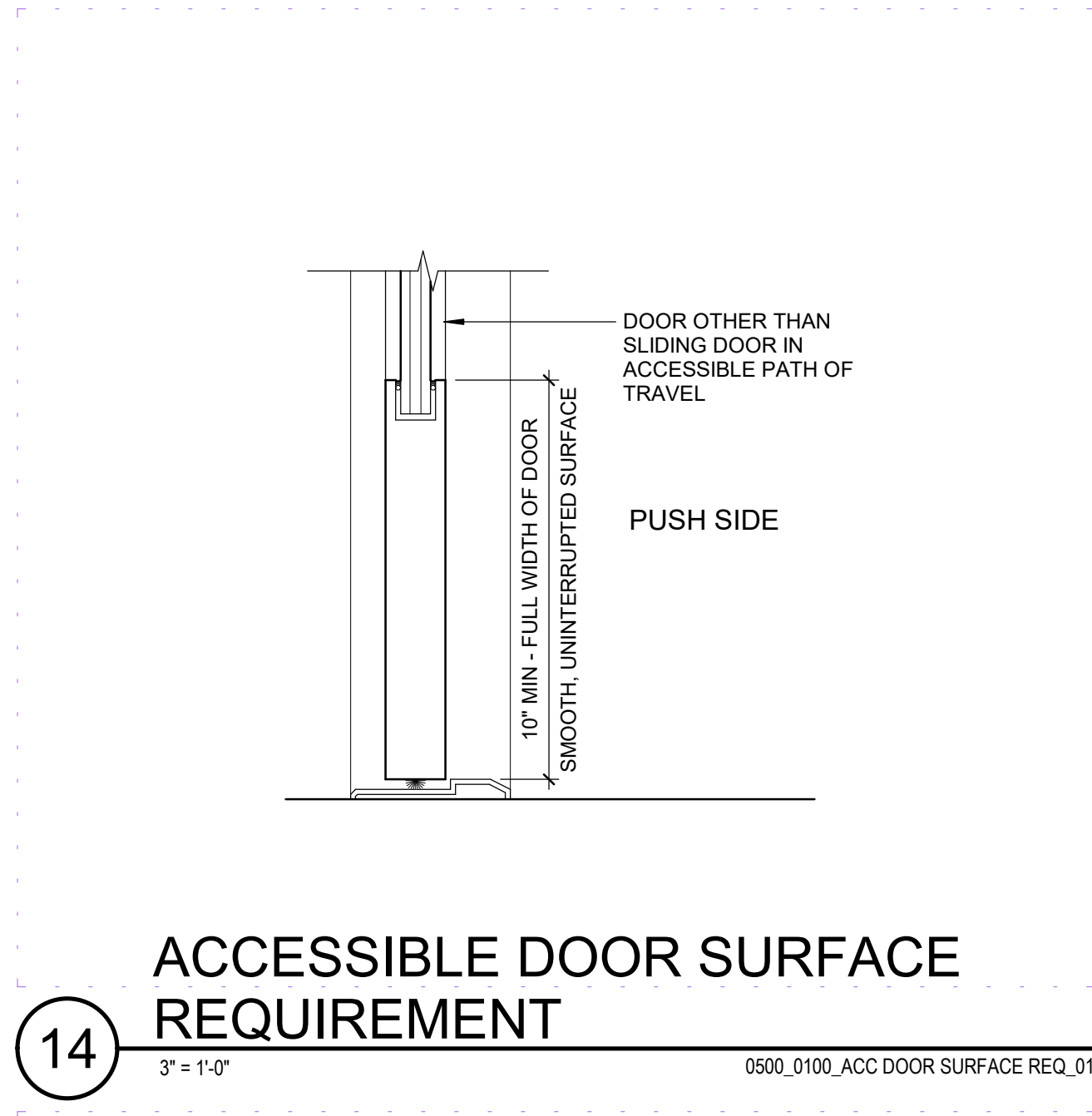
1/2" = 1'-0"

0500_0100_ACC MOUNTING HEIGHT REQ DOOR.01

16 ACCESSIBLE HANDRAIL AT WALL

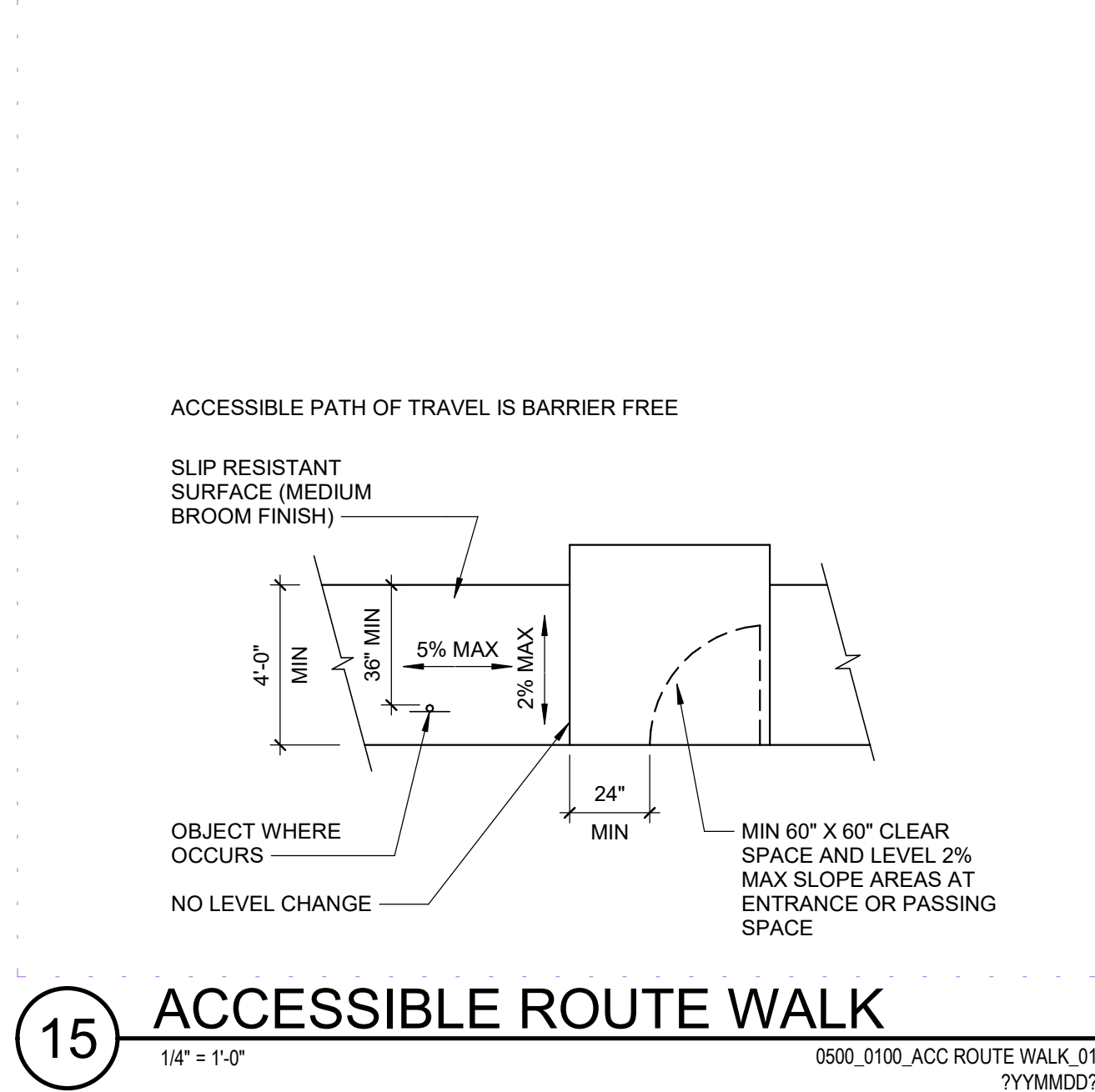
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0500_0100_ACC HNDRL AT WALL.01



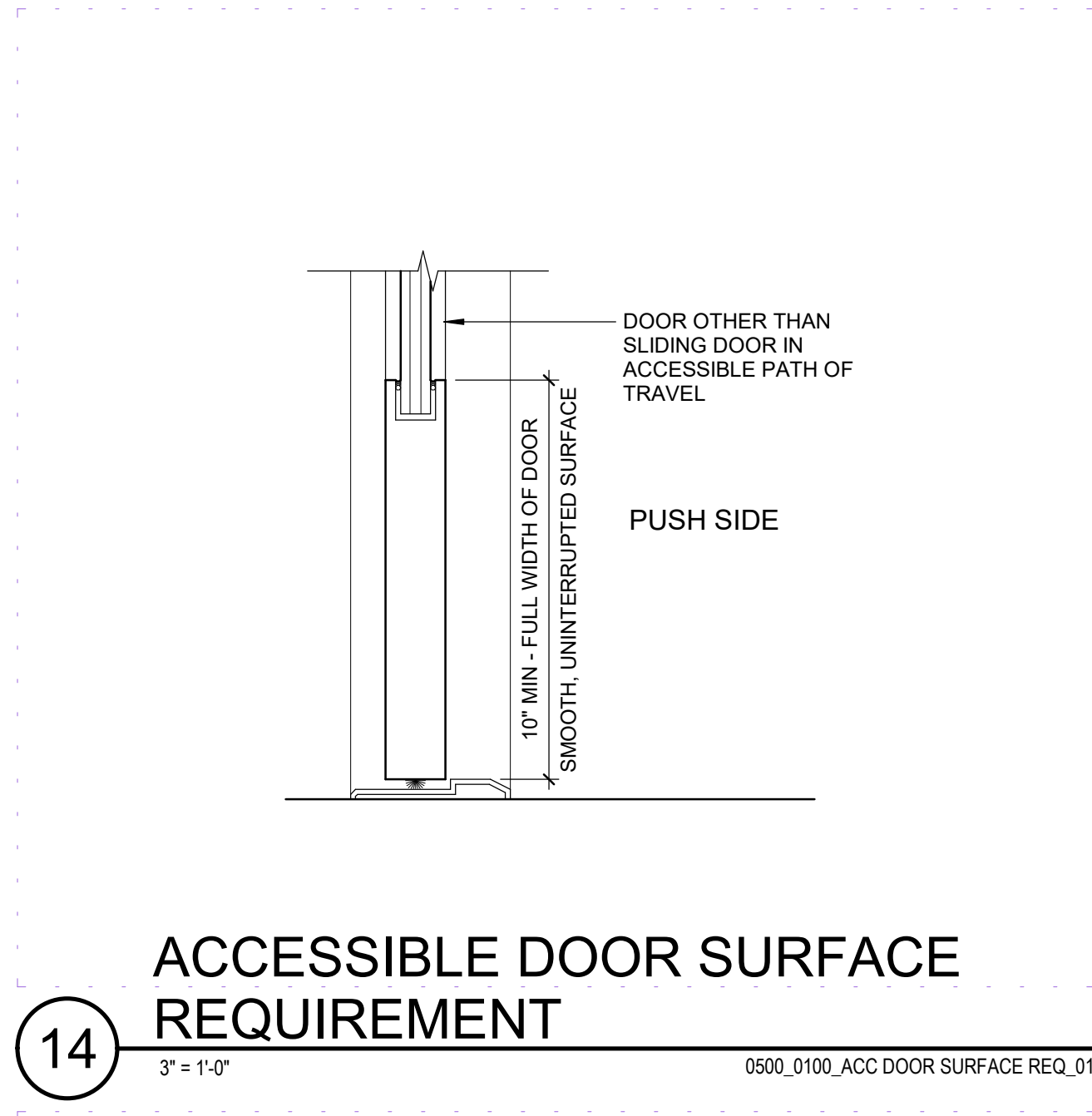
3" = 1'-0"

0500_0100_ACC DOOR SURFACE REQ.01



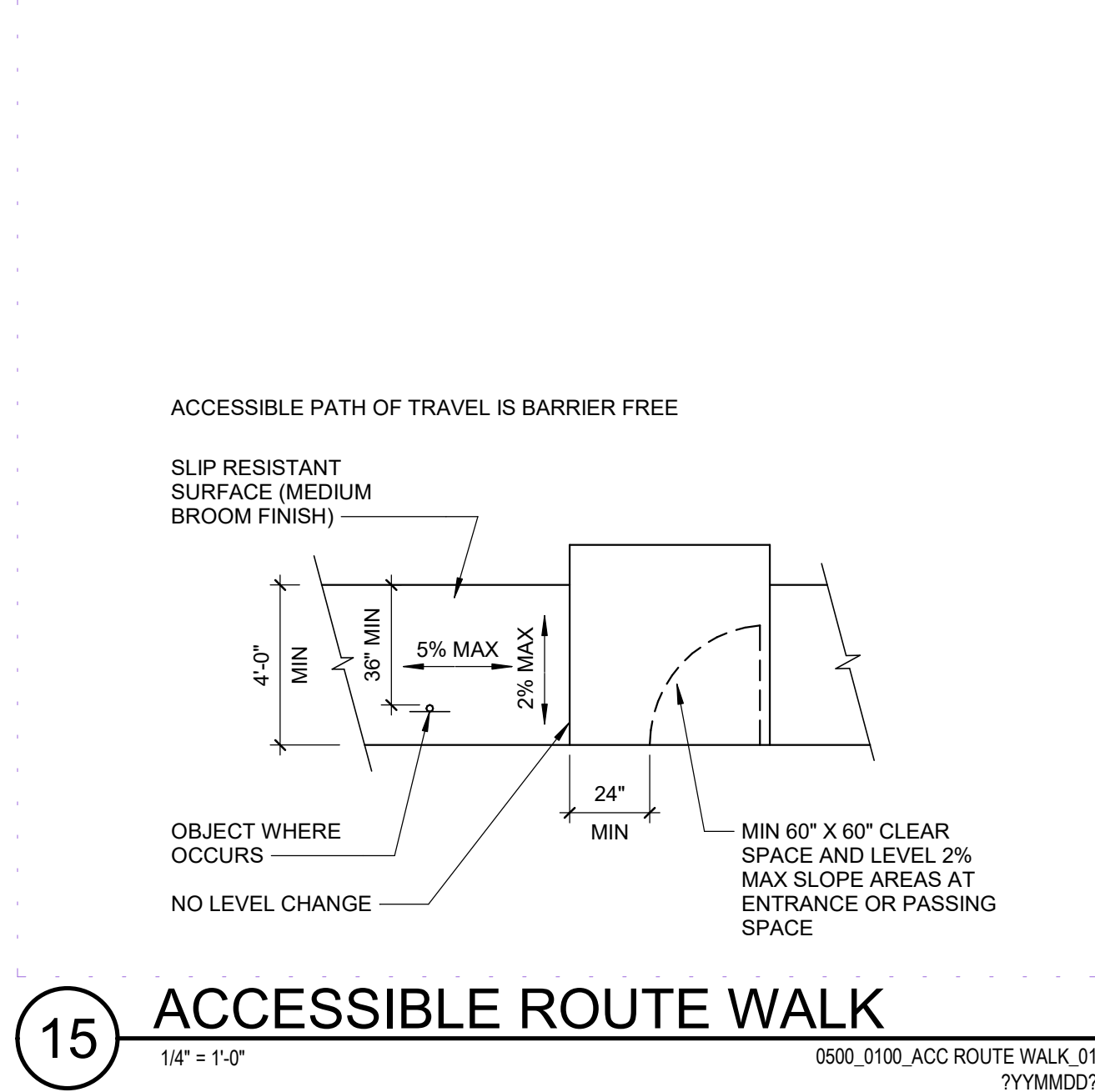
1/4" = 1'-0"

0500_0100_ACC ROUTE WALK.01



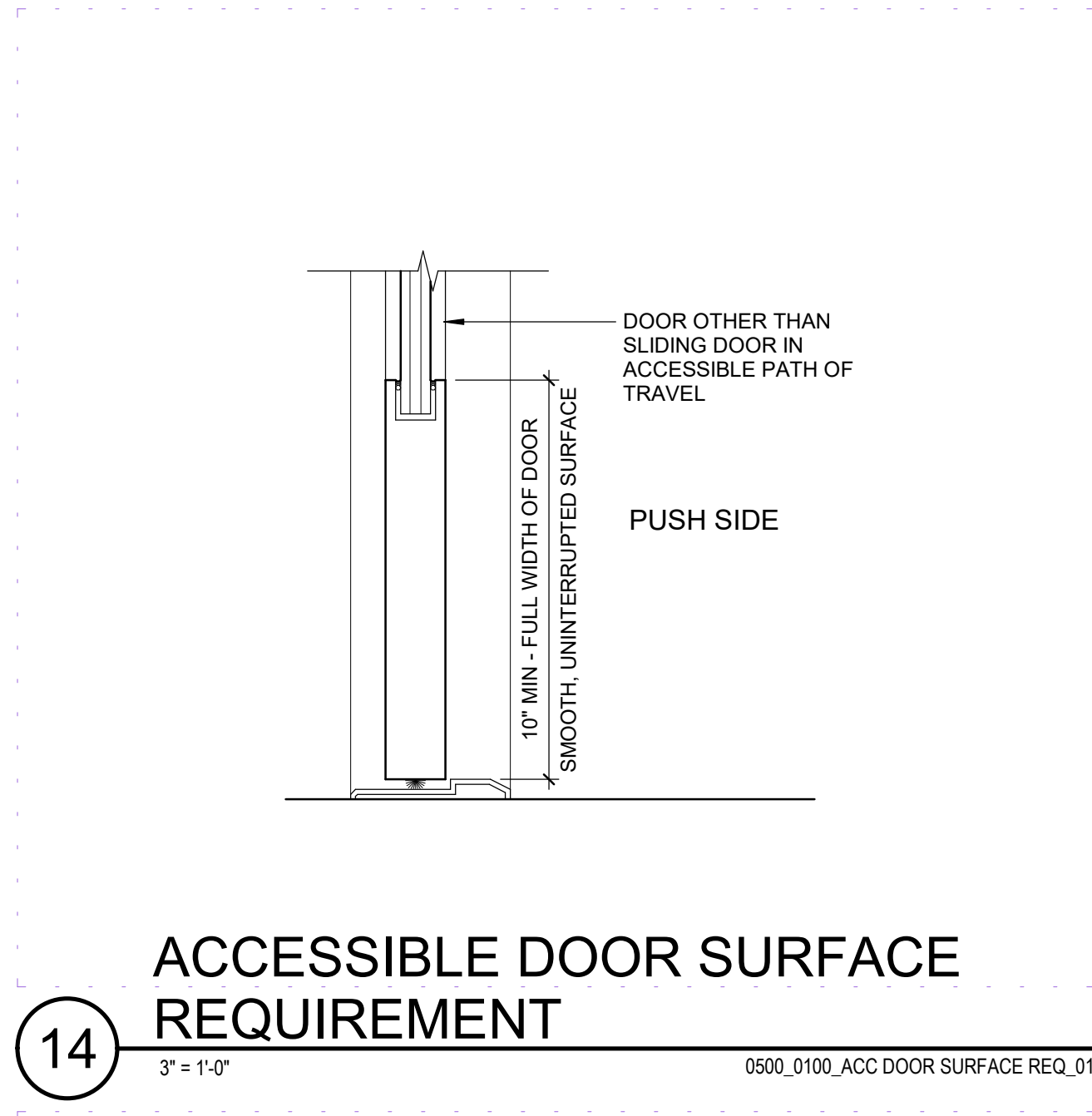
3" = 1'-0"

0500_0100_ACC DOOR SURFACE REQ.01



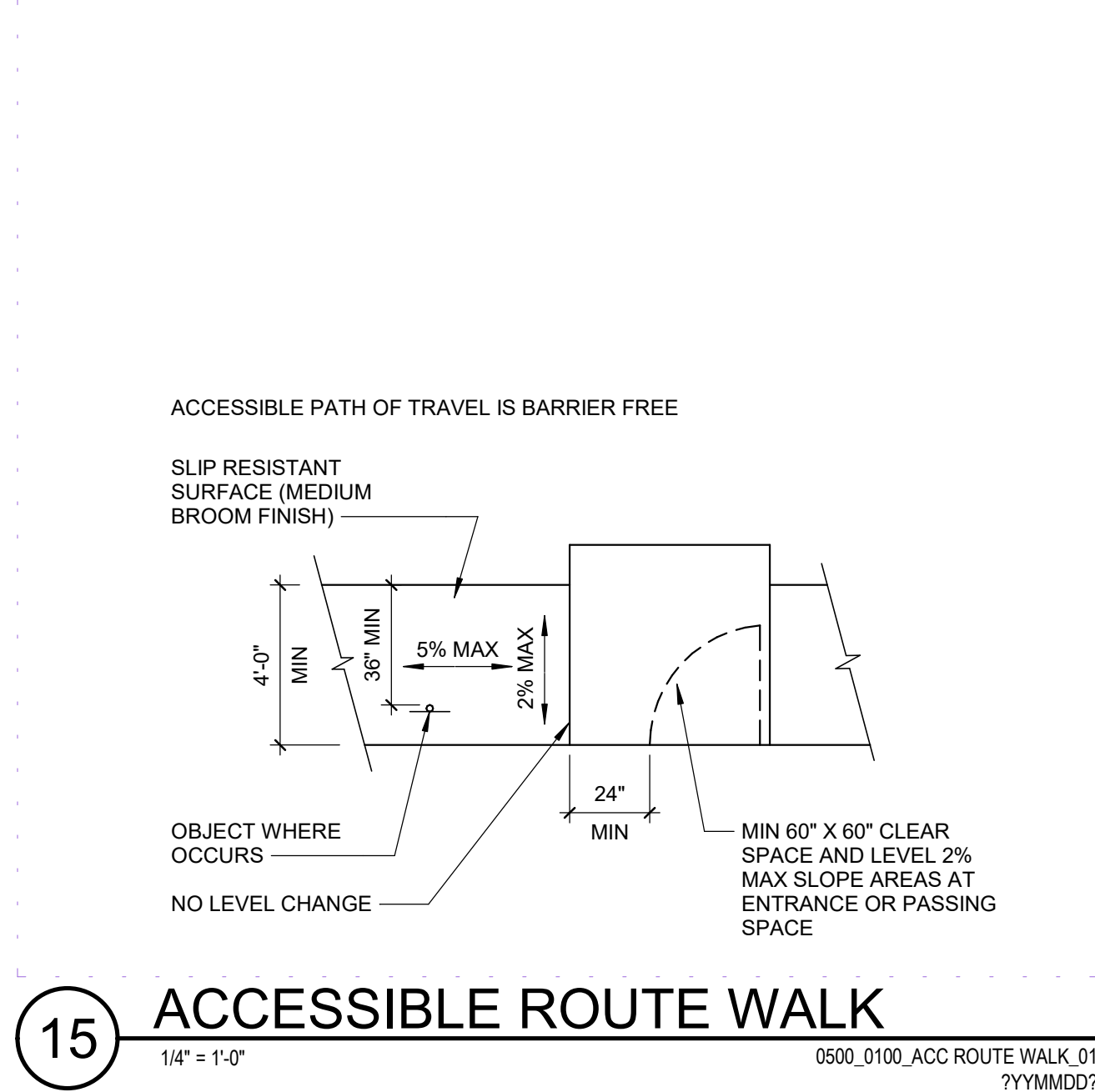
1/4" = 1'-0"

0500_0100_ACC ROUTE WALK.01



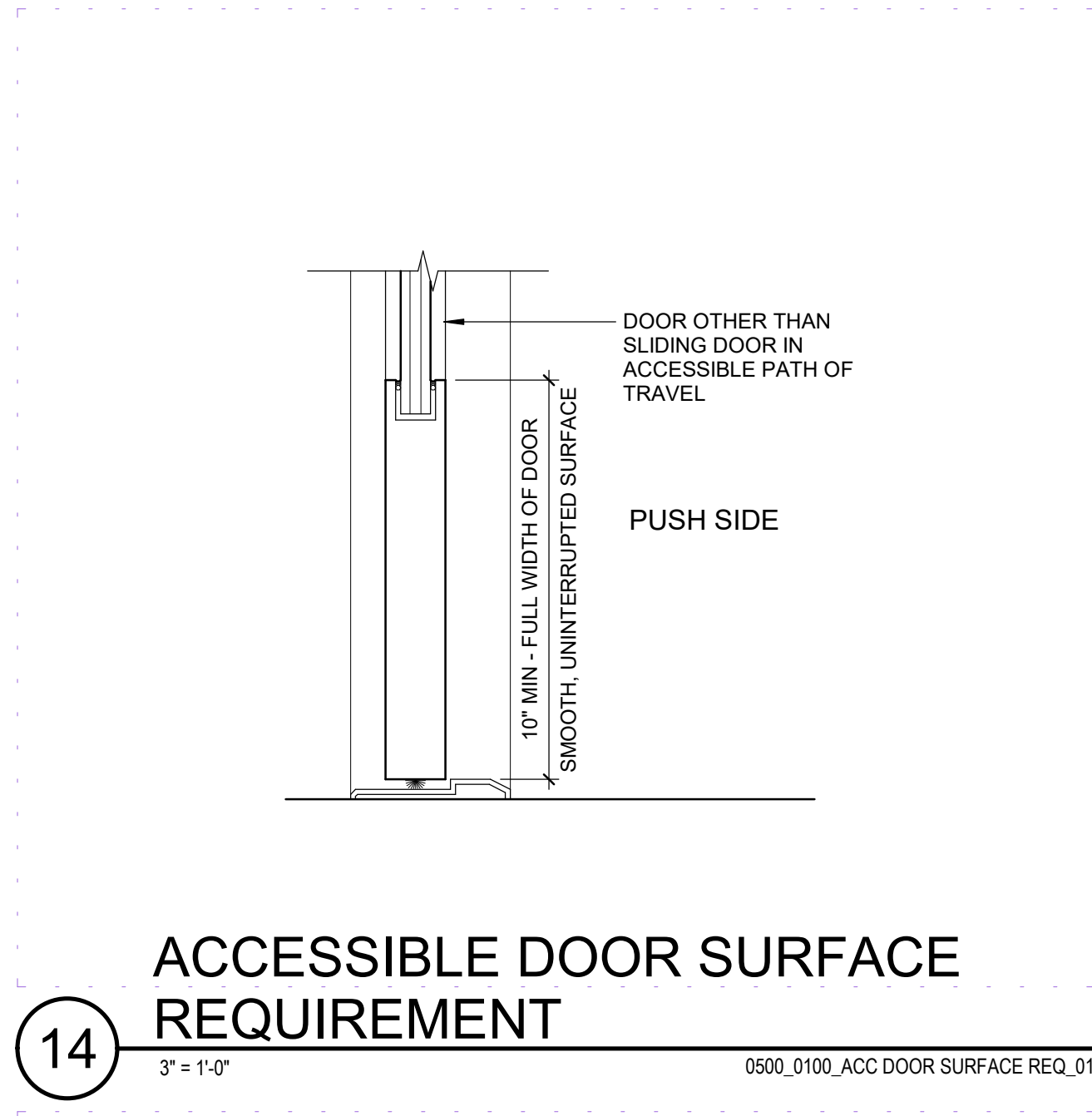
3" = 1'-0"

0500_0100_ACC DOOR SURFACE REQ.01



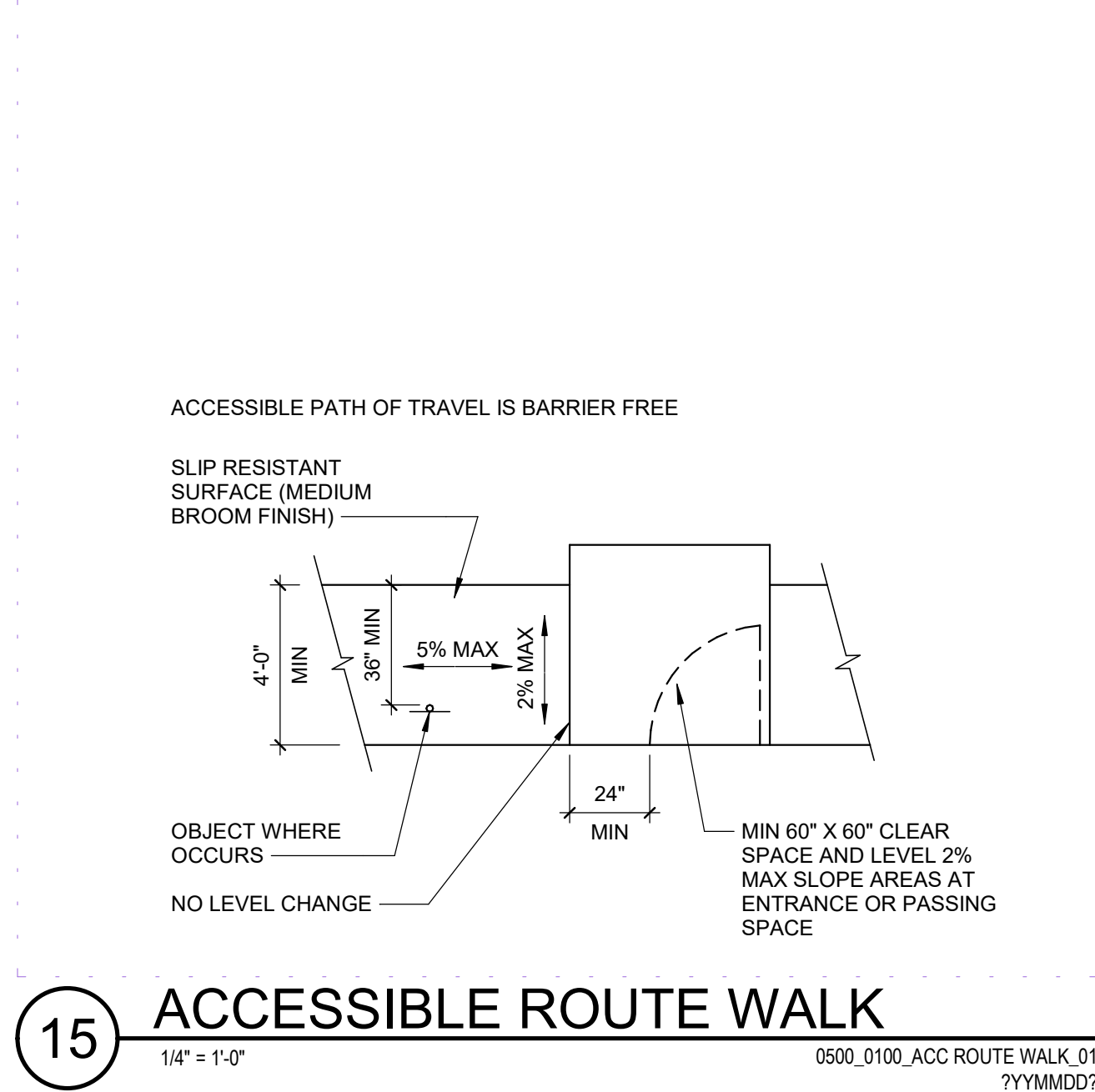
1/4" = 1'-0"

0500_0100_ACC ROUTE WALK.01



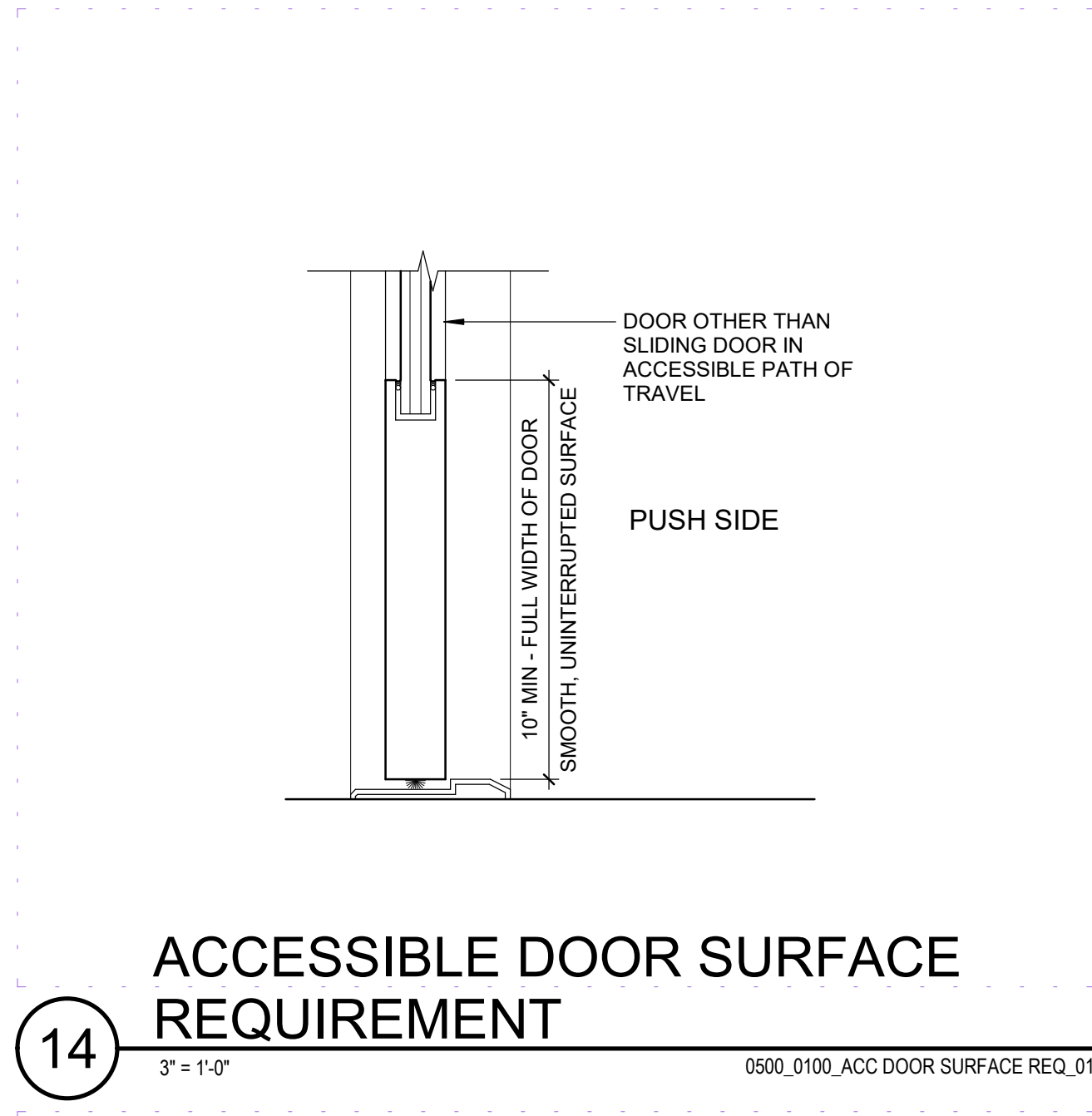
3" = 1'-0"

0500_0100_ACC DOOR SURFACE REQ.01



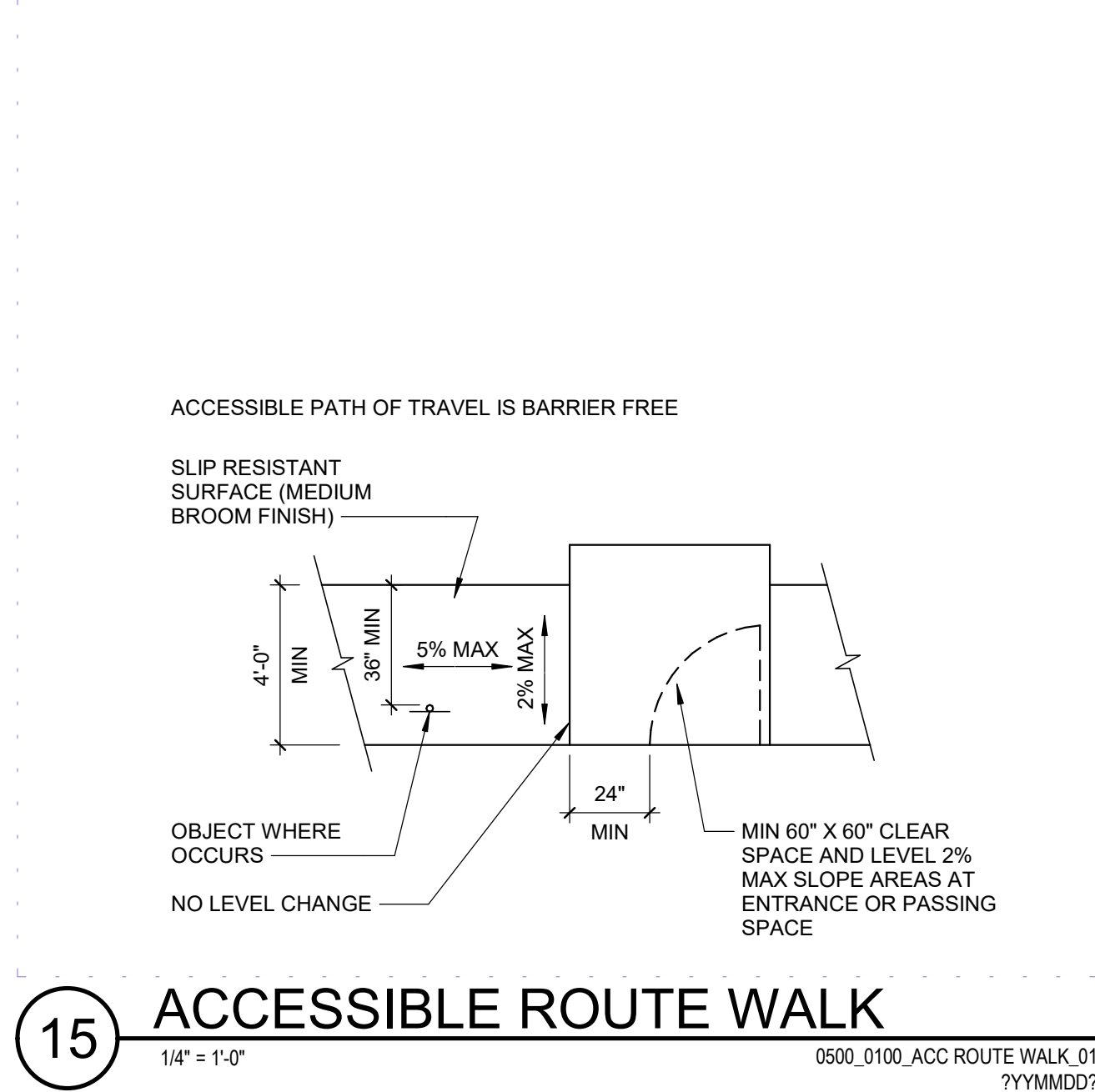
1/4" = 1'-0"

0500_0100_ACC ROUTE WALK.01



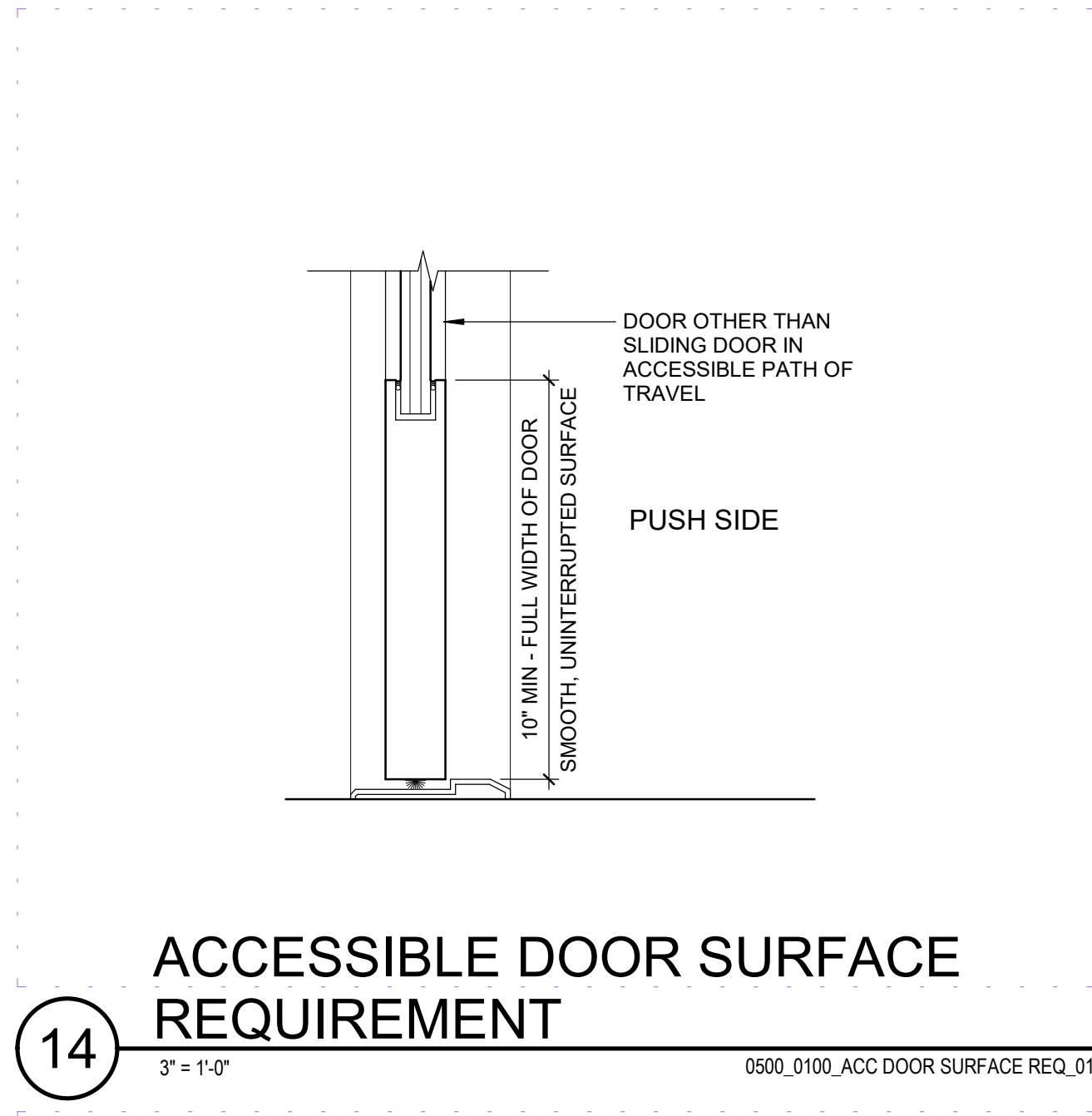
3" = 1'-0"

0500_0100_ACC DOOR SURFACE REQ.01



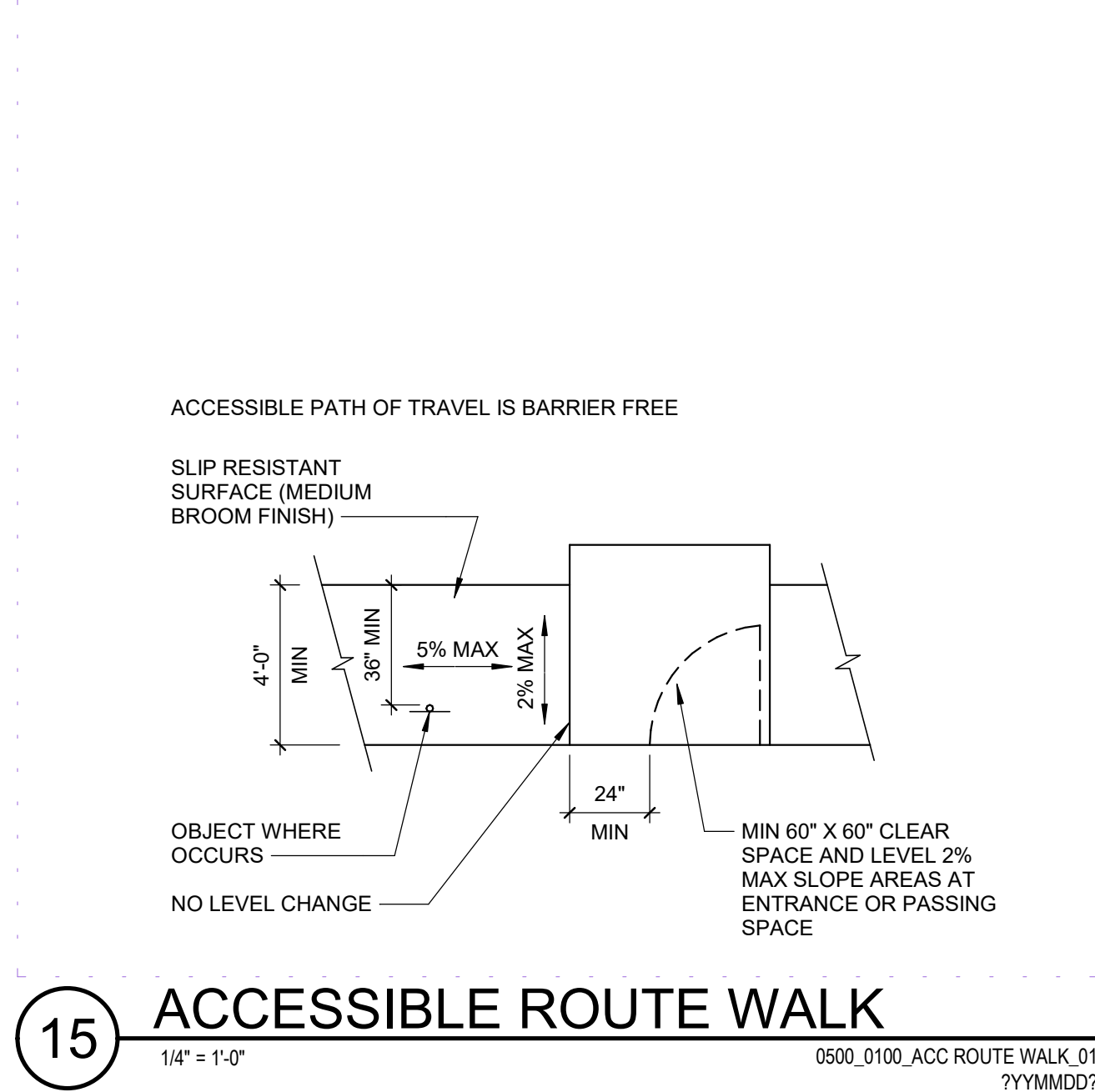
1/4" = 1'-0"

0500_0100_ACC ROUTE WALK.01



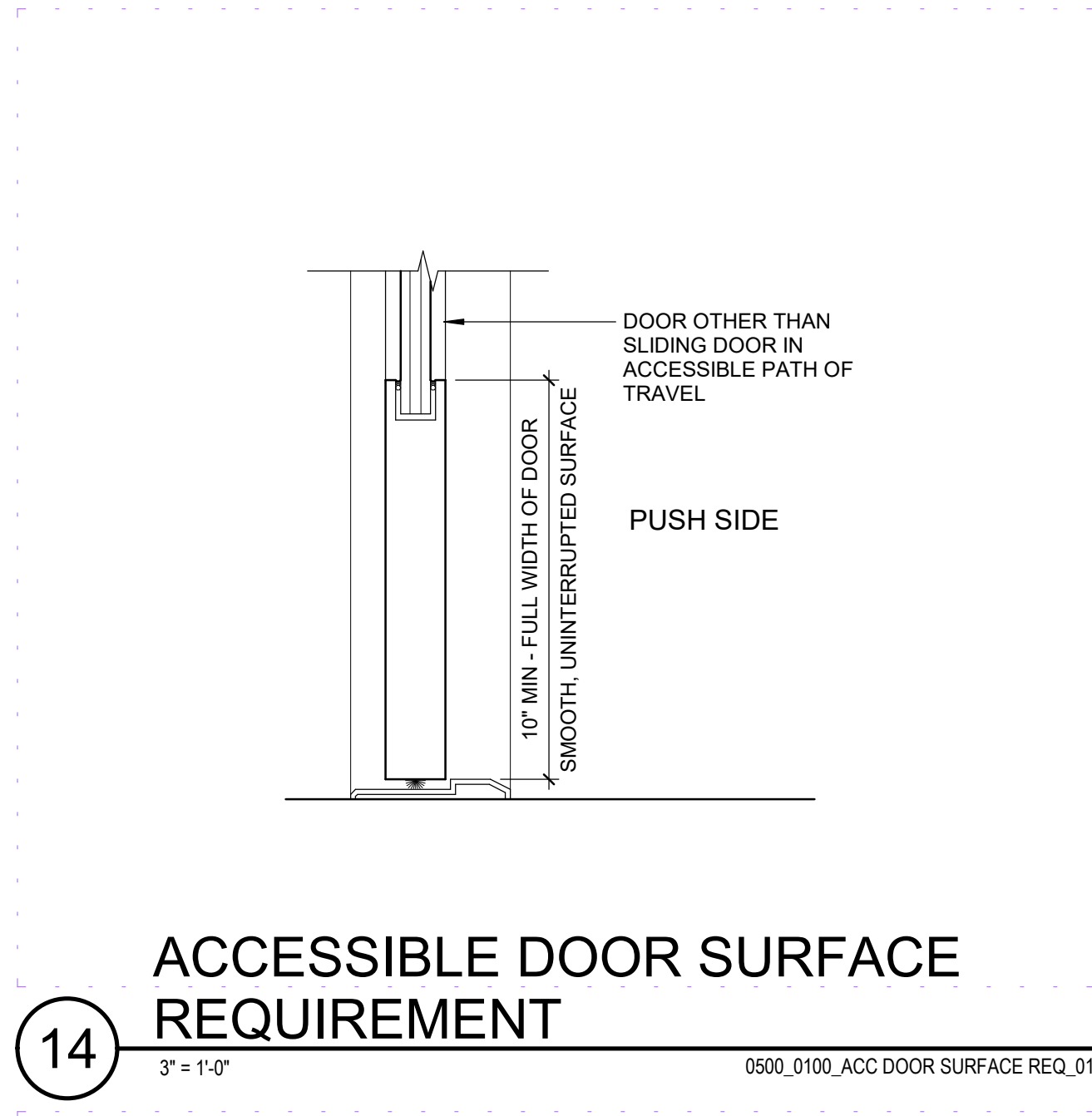
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0500_0100_ACC DOOR SURFACE REQ.01



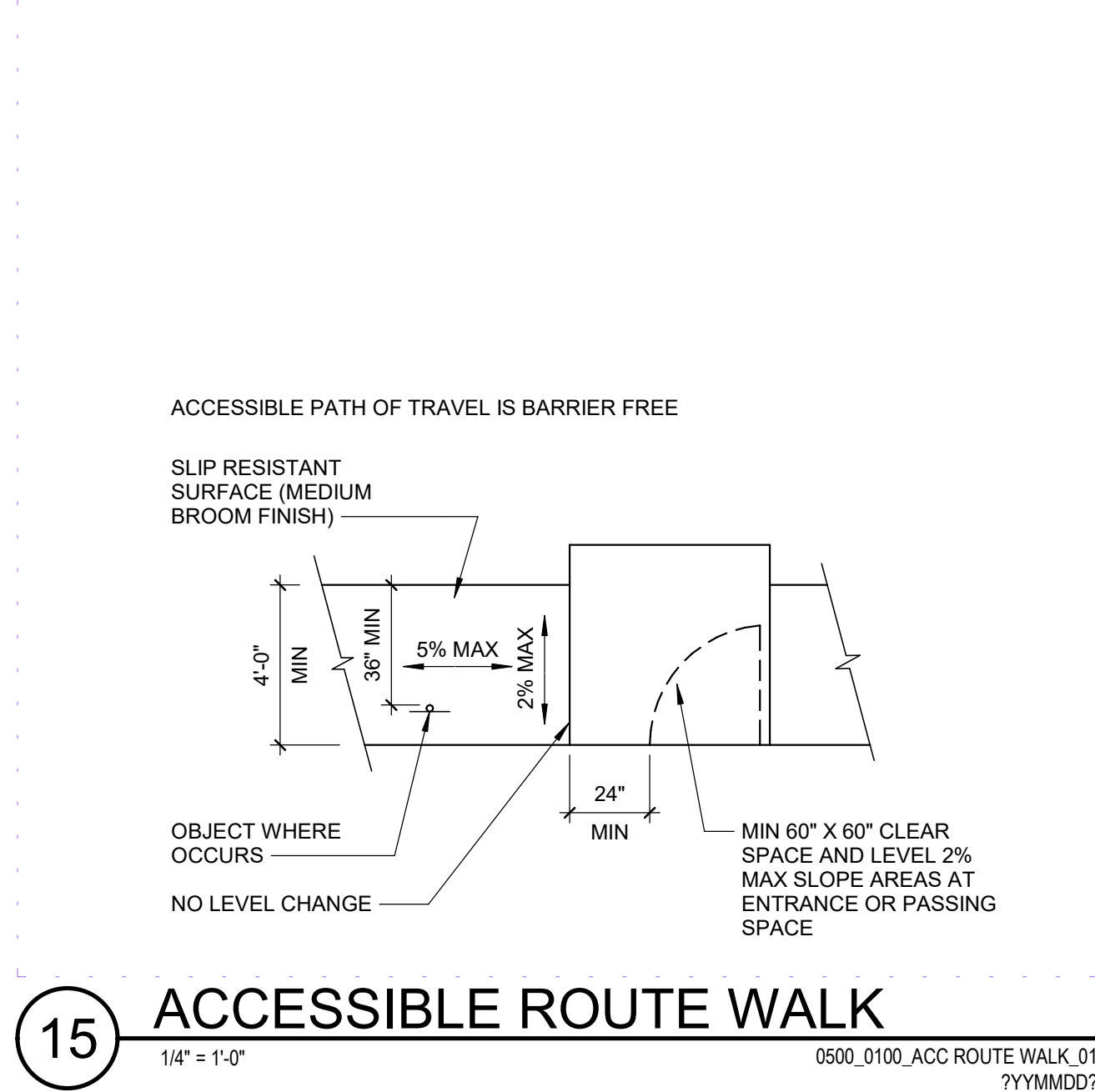
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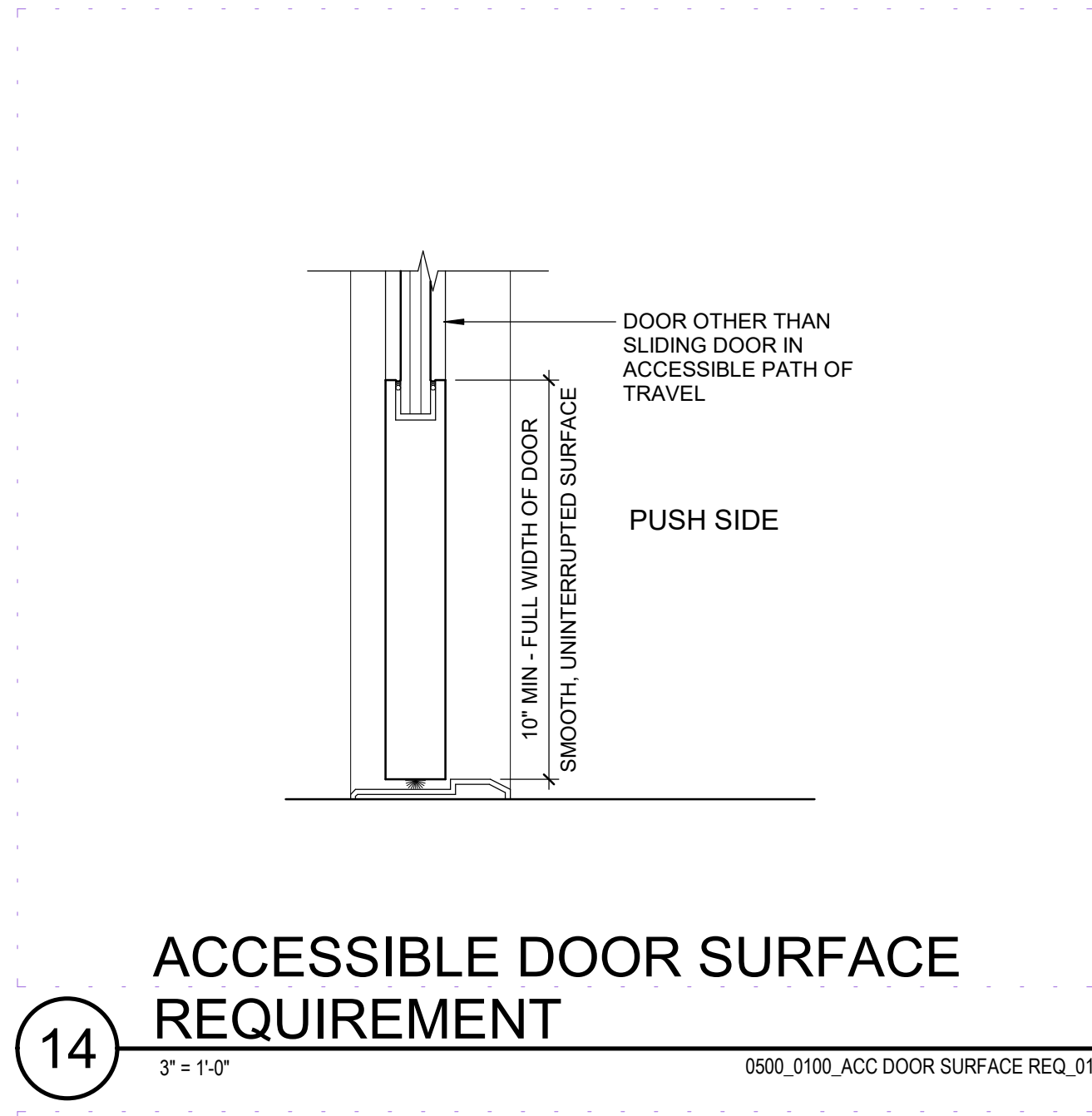
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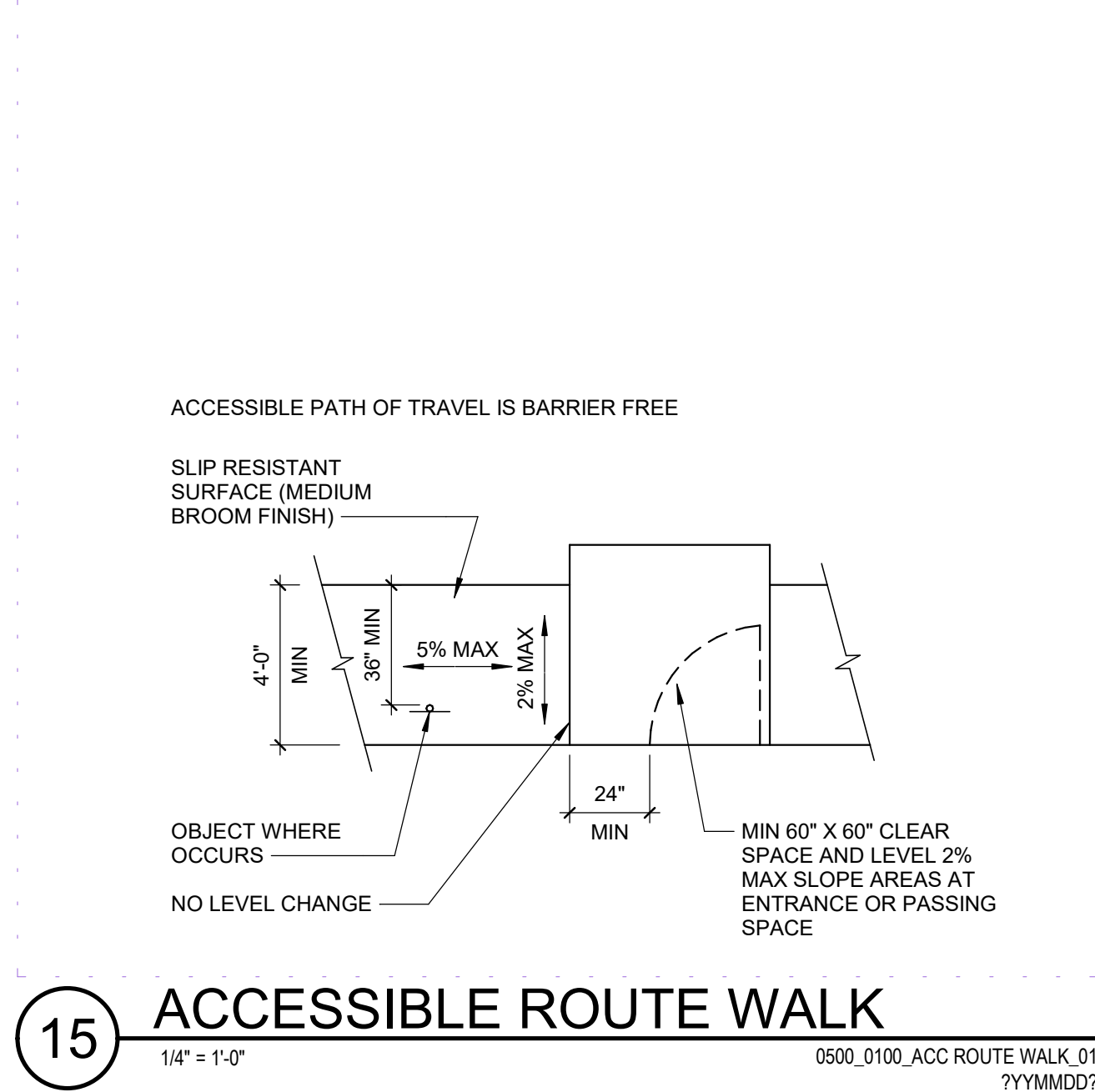
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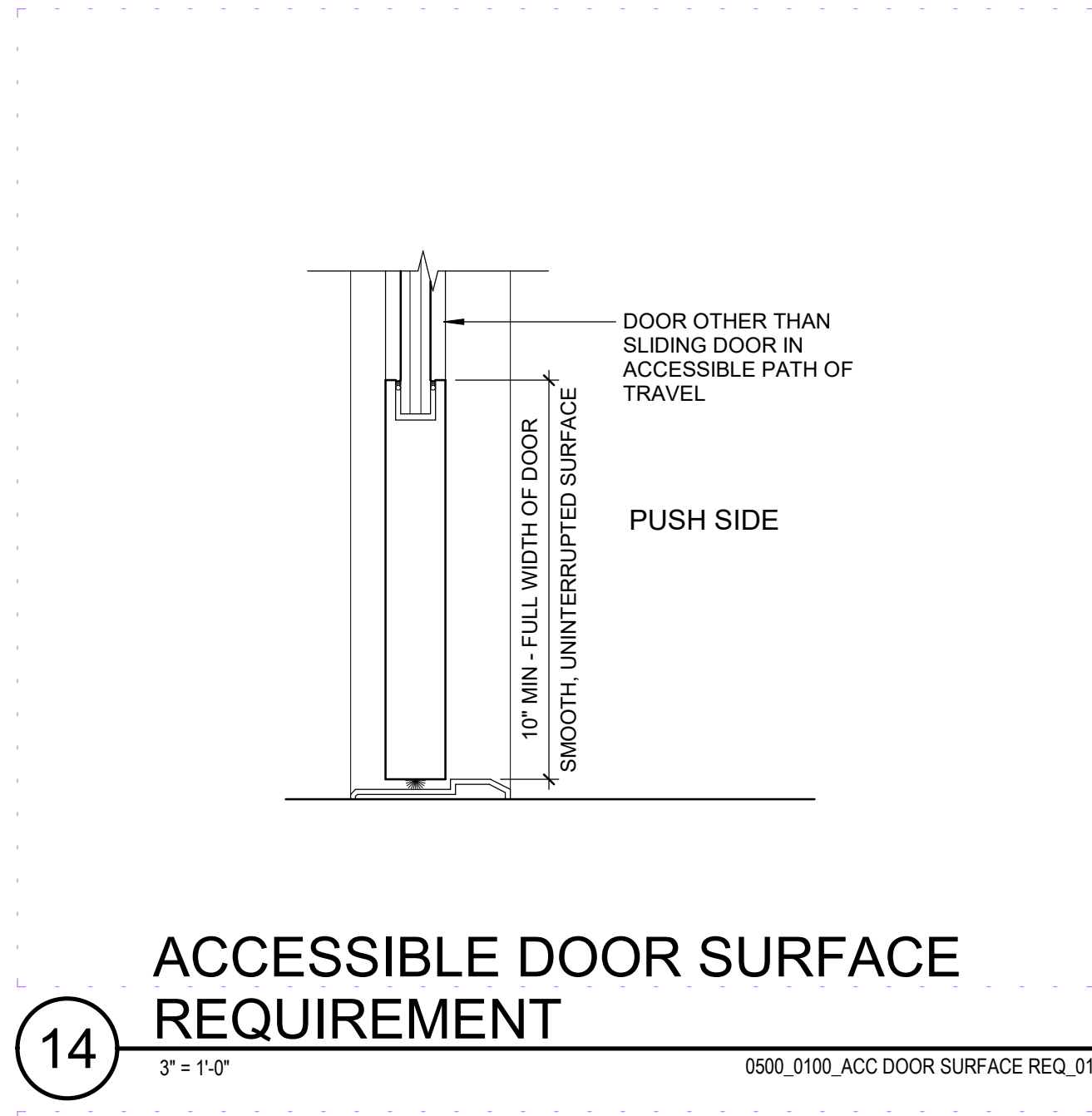
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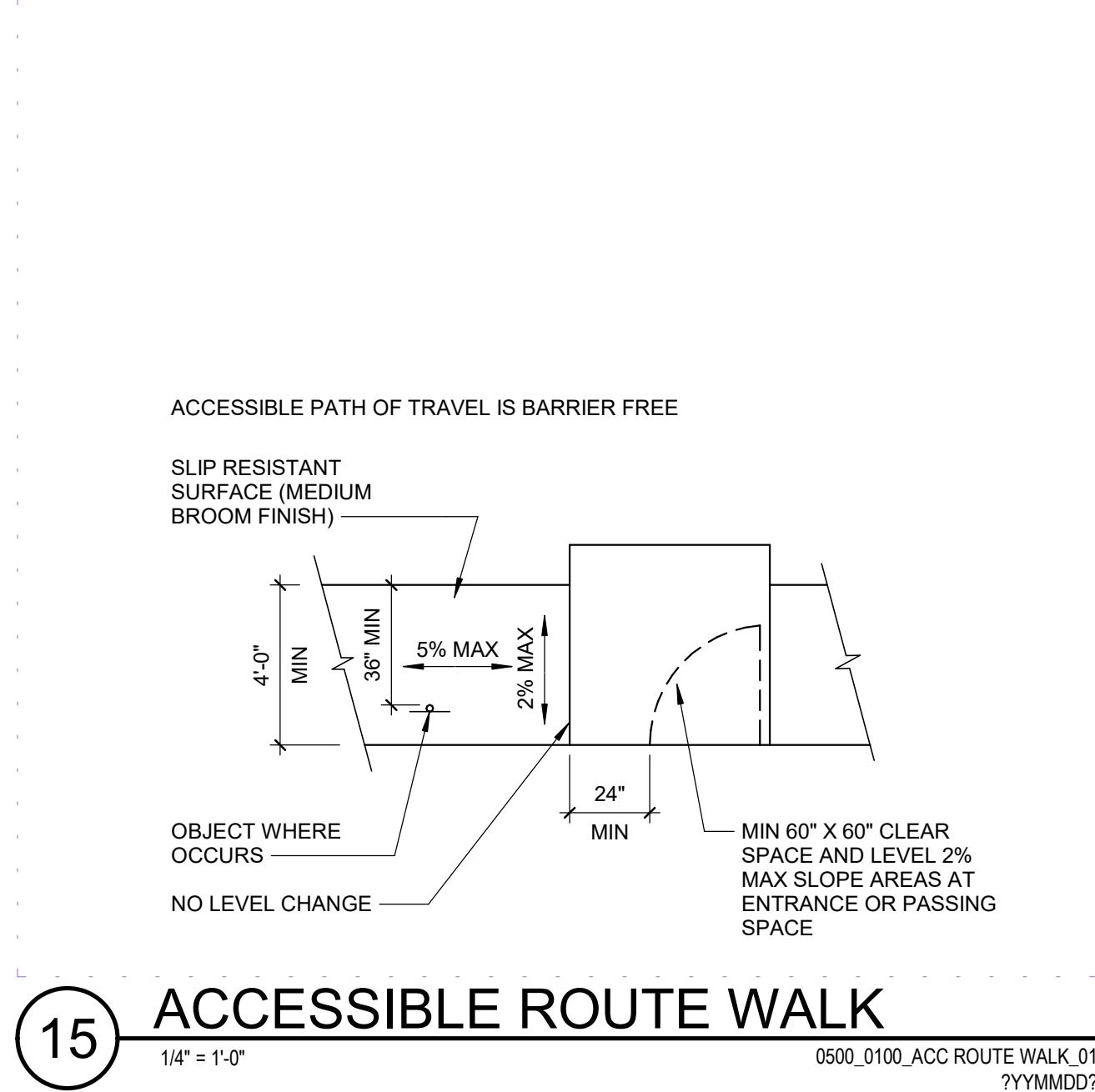
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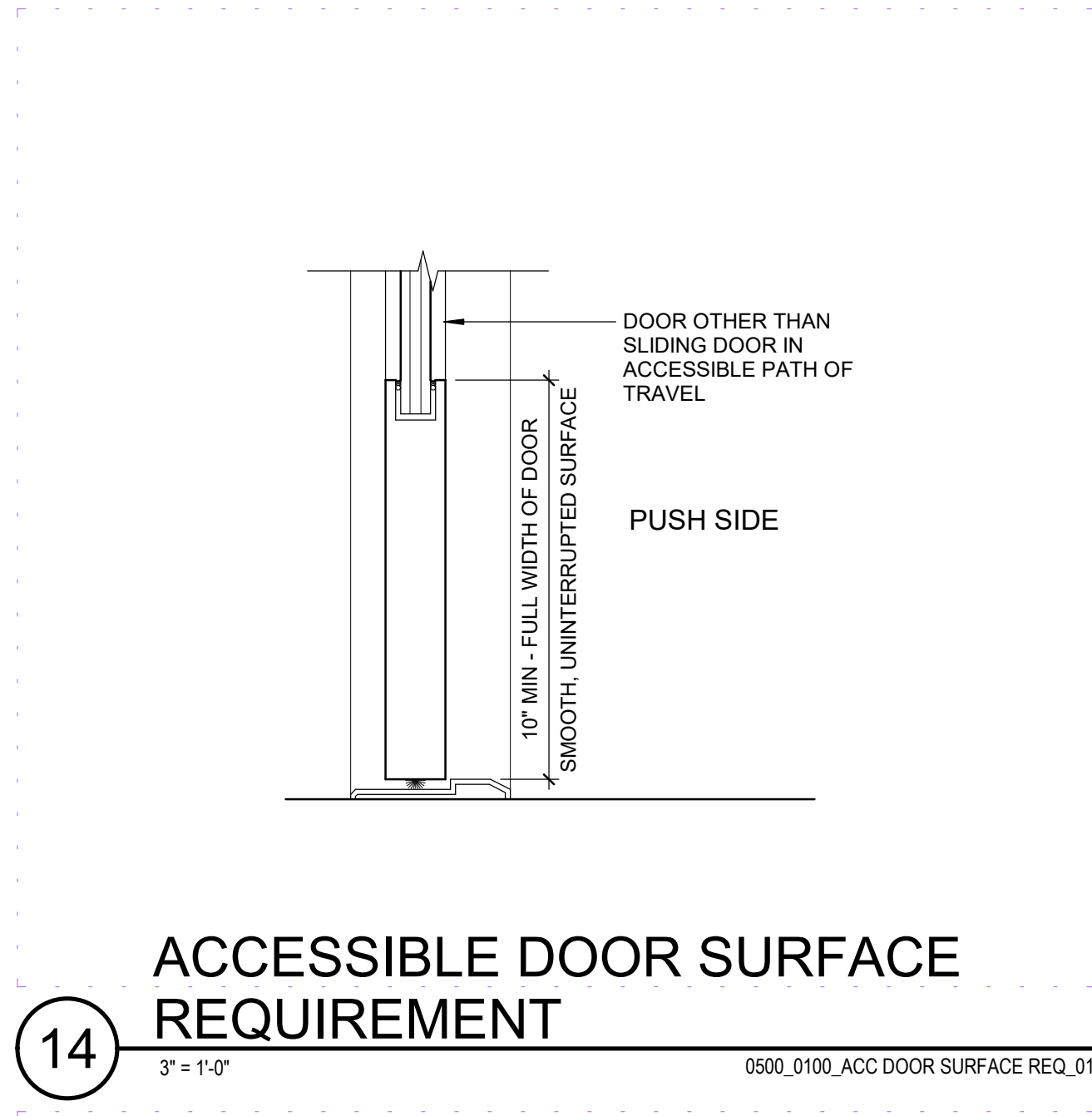
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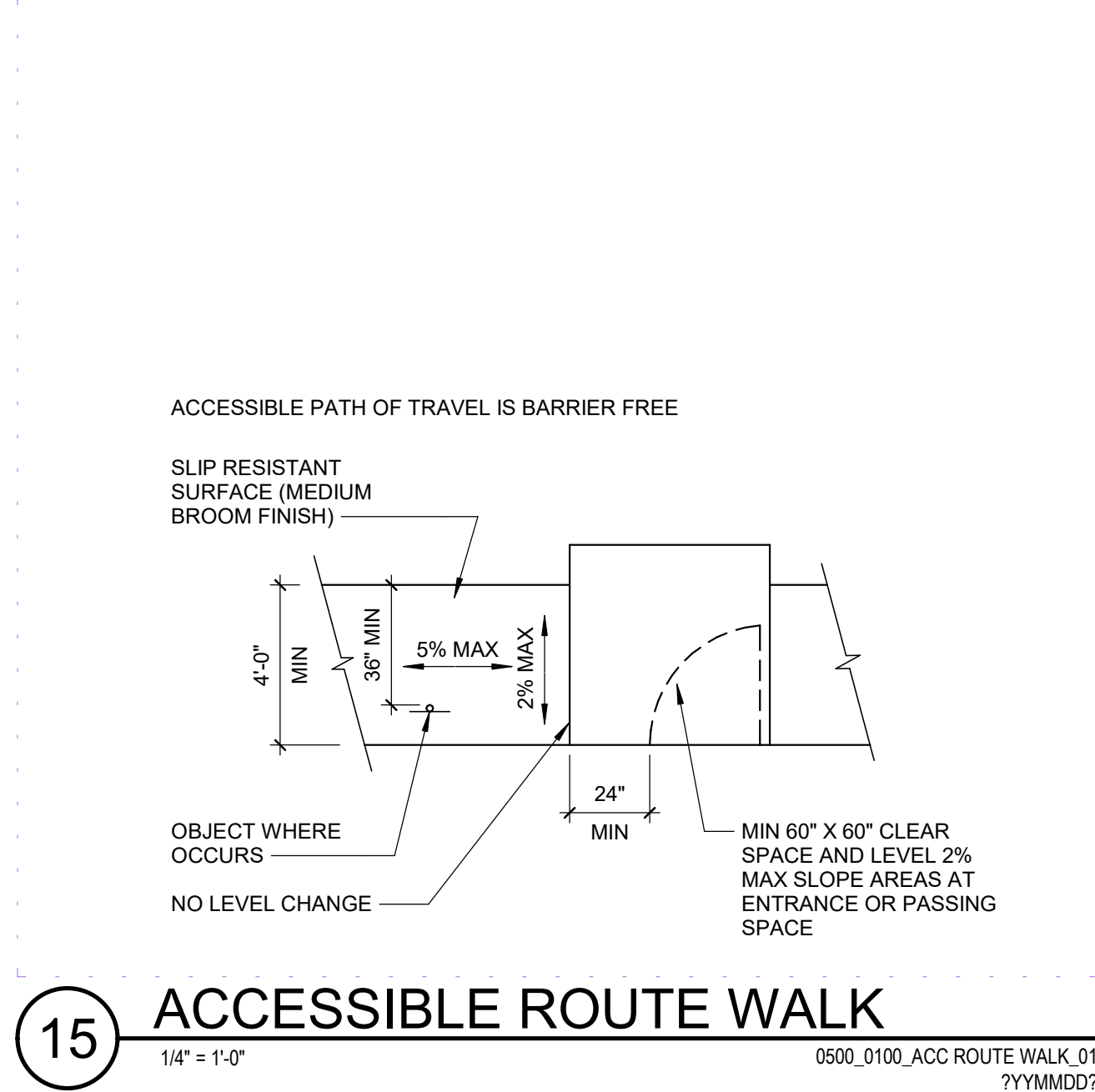
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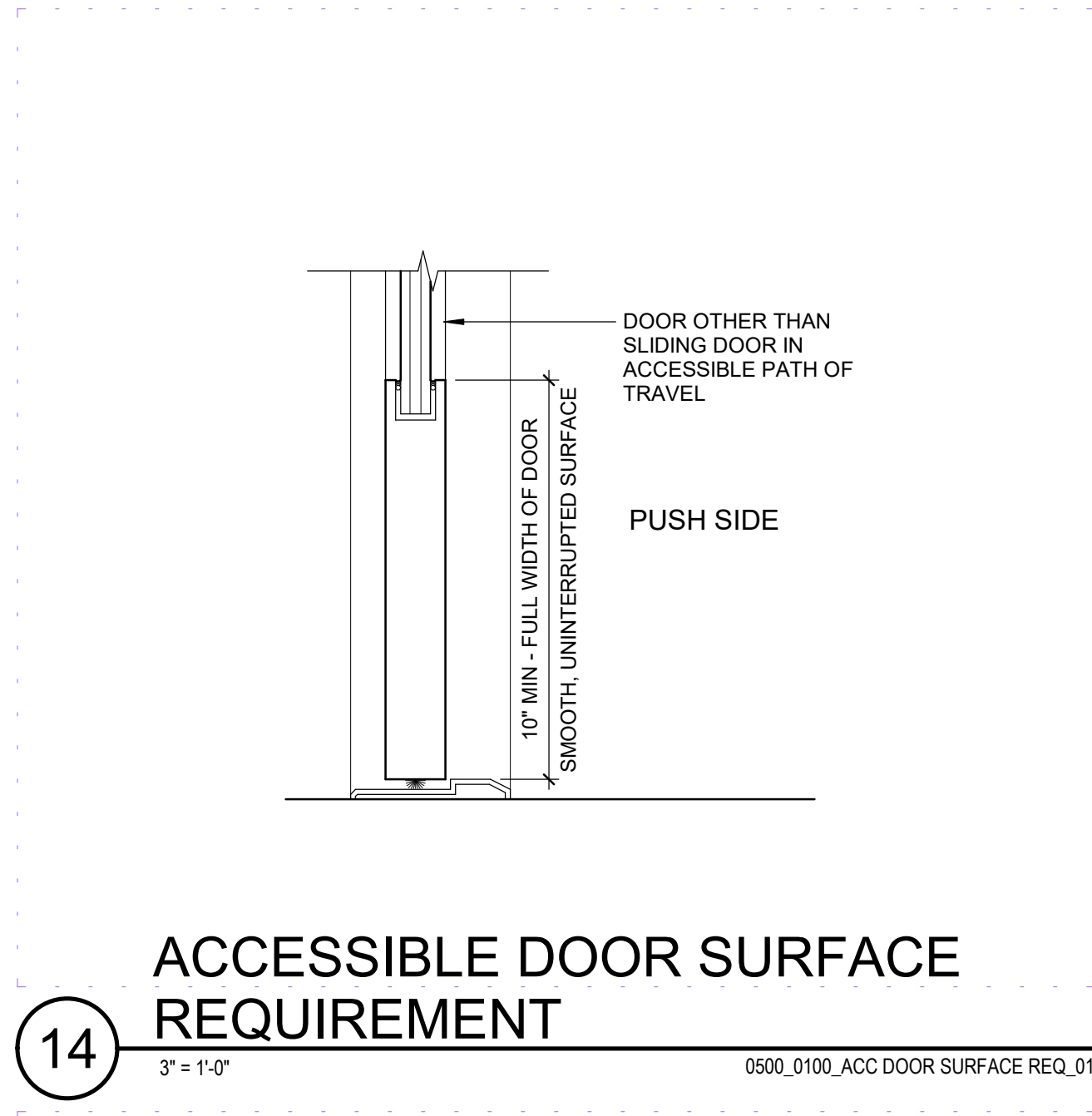
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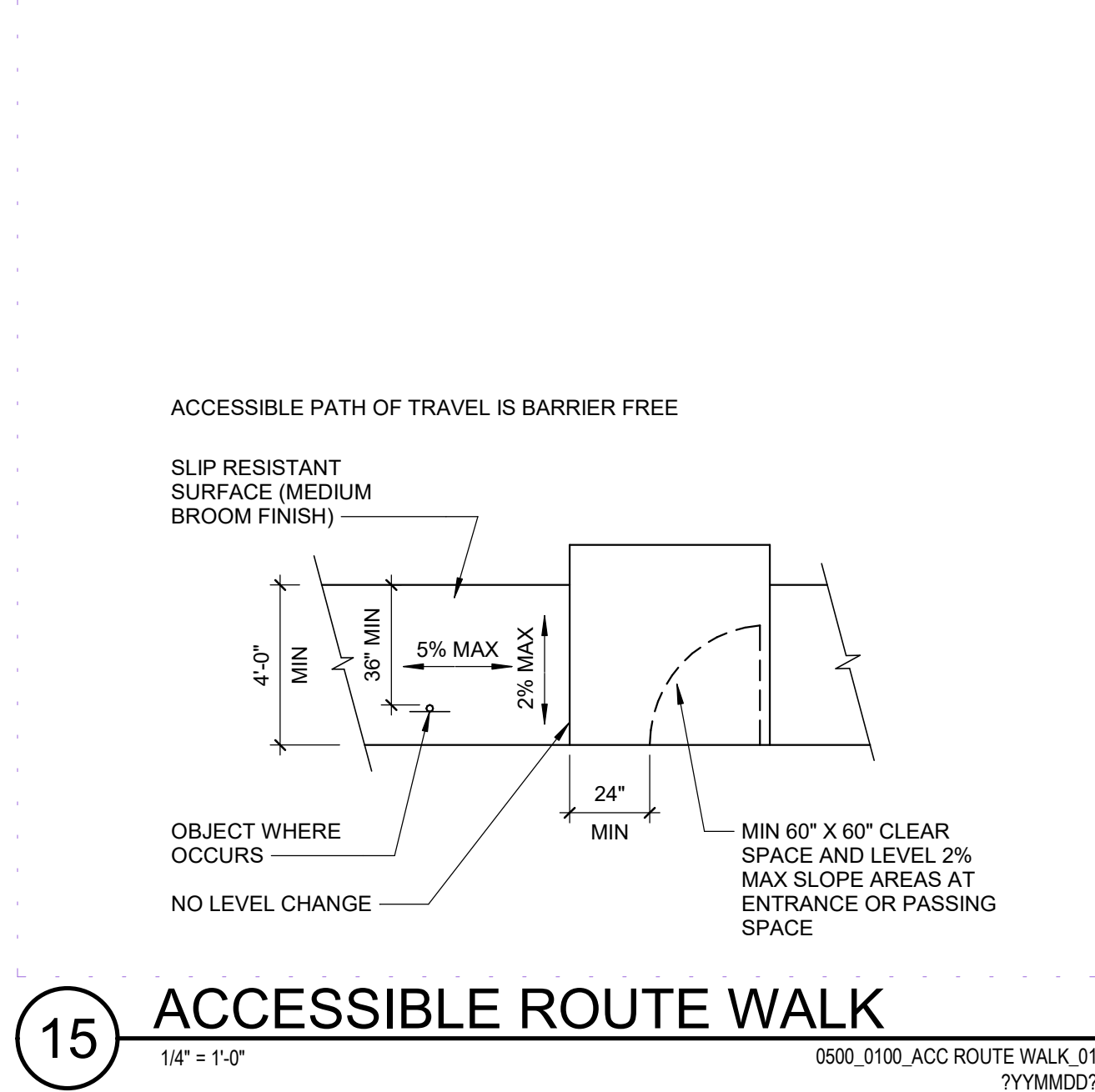
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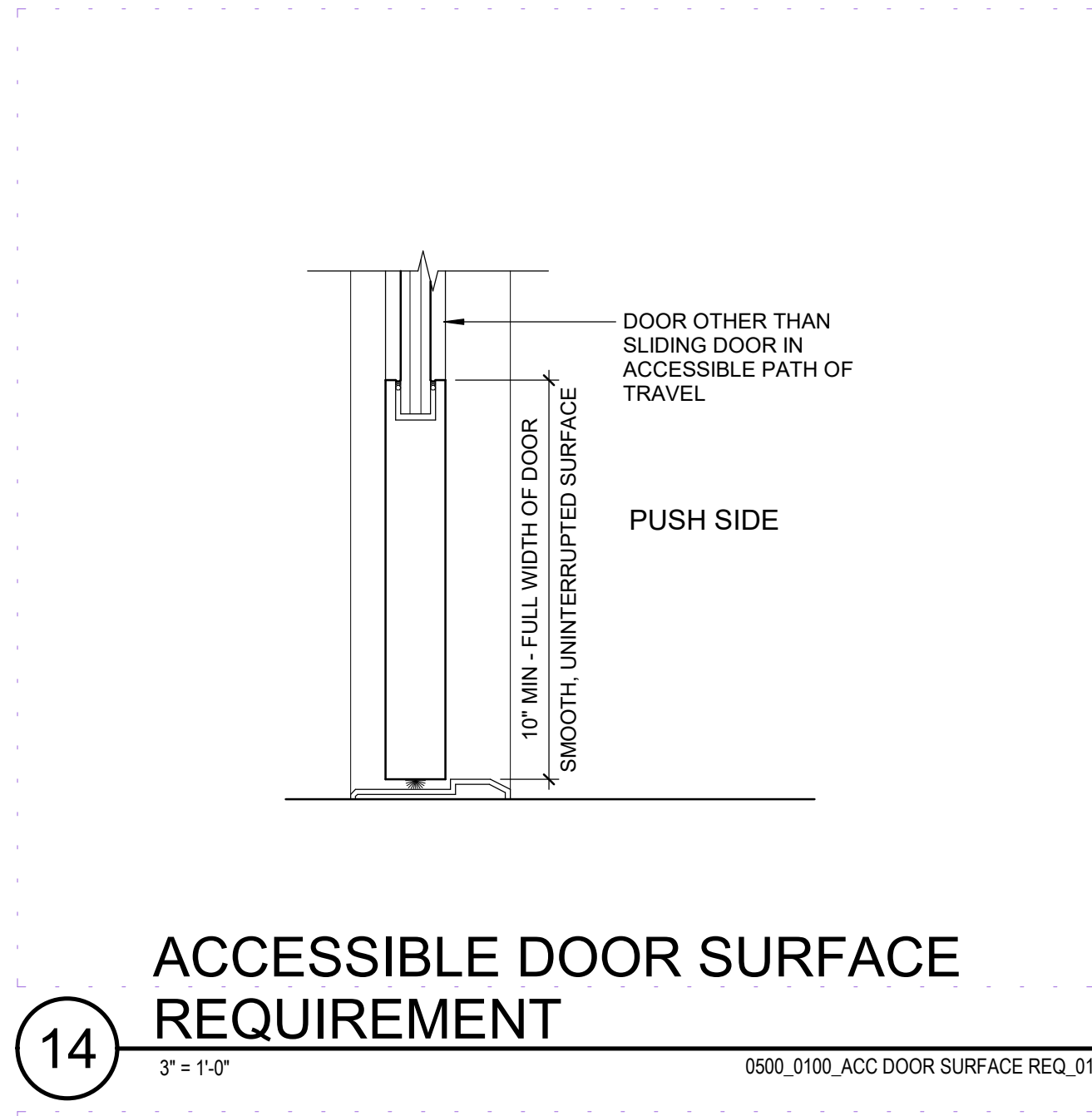
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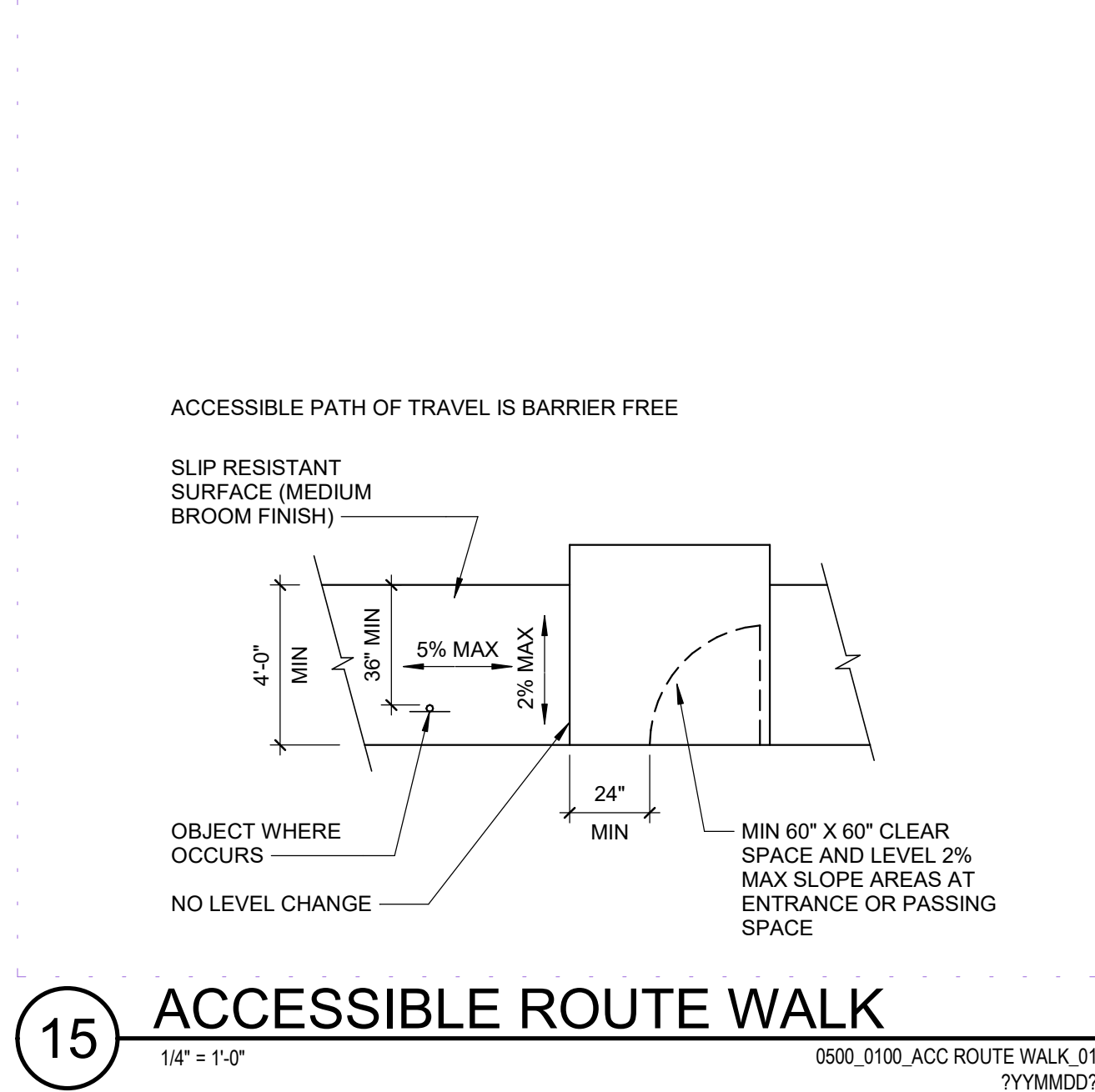
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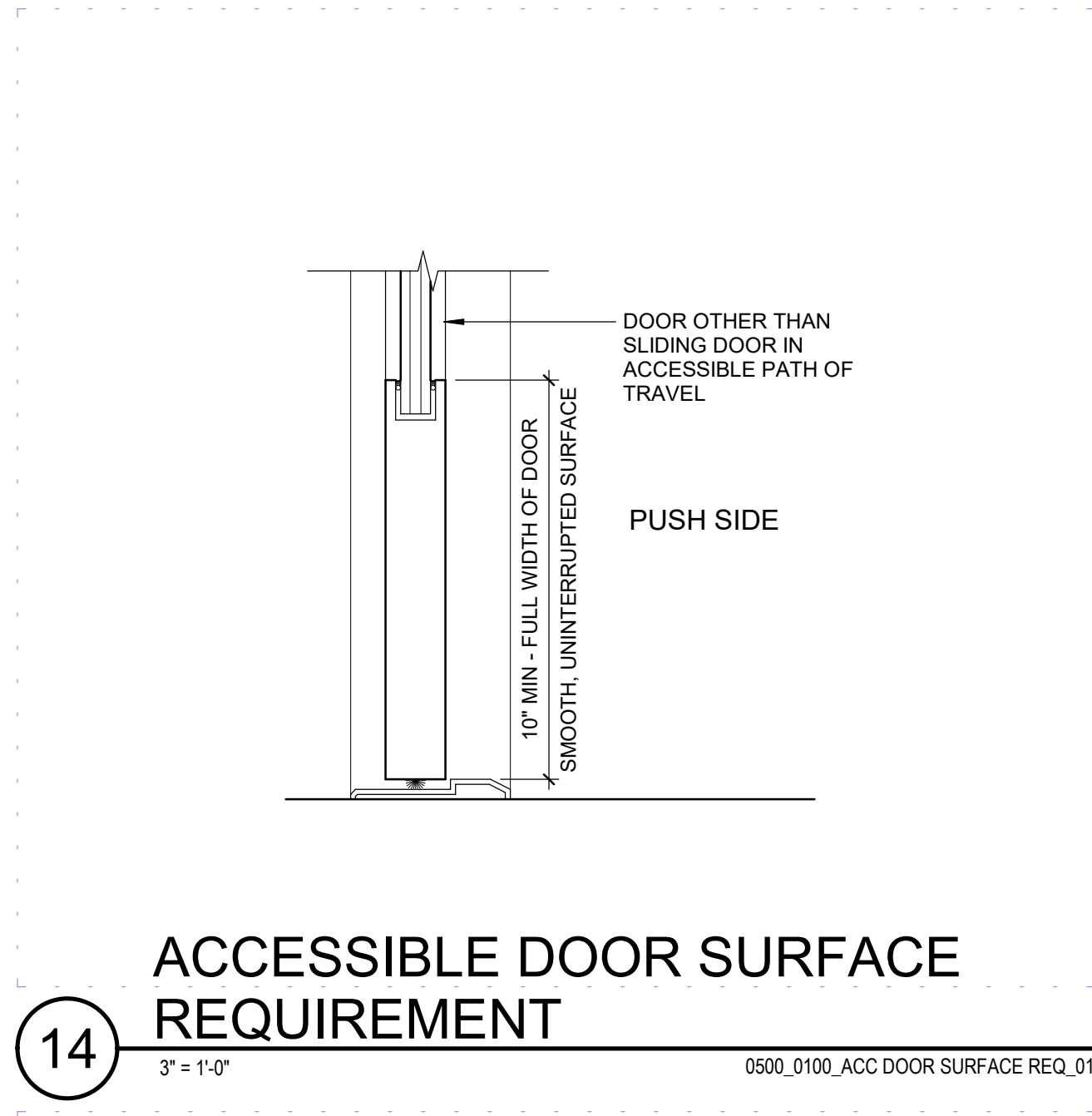
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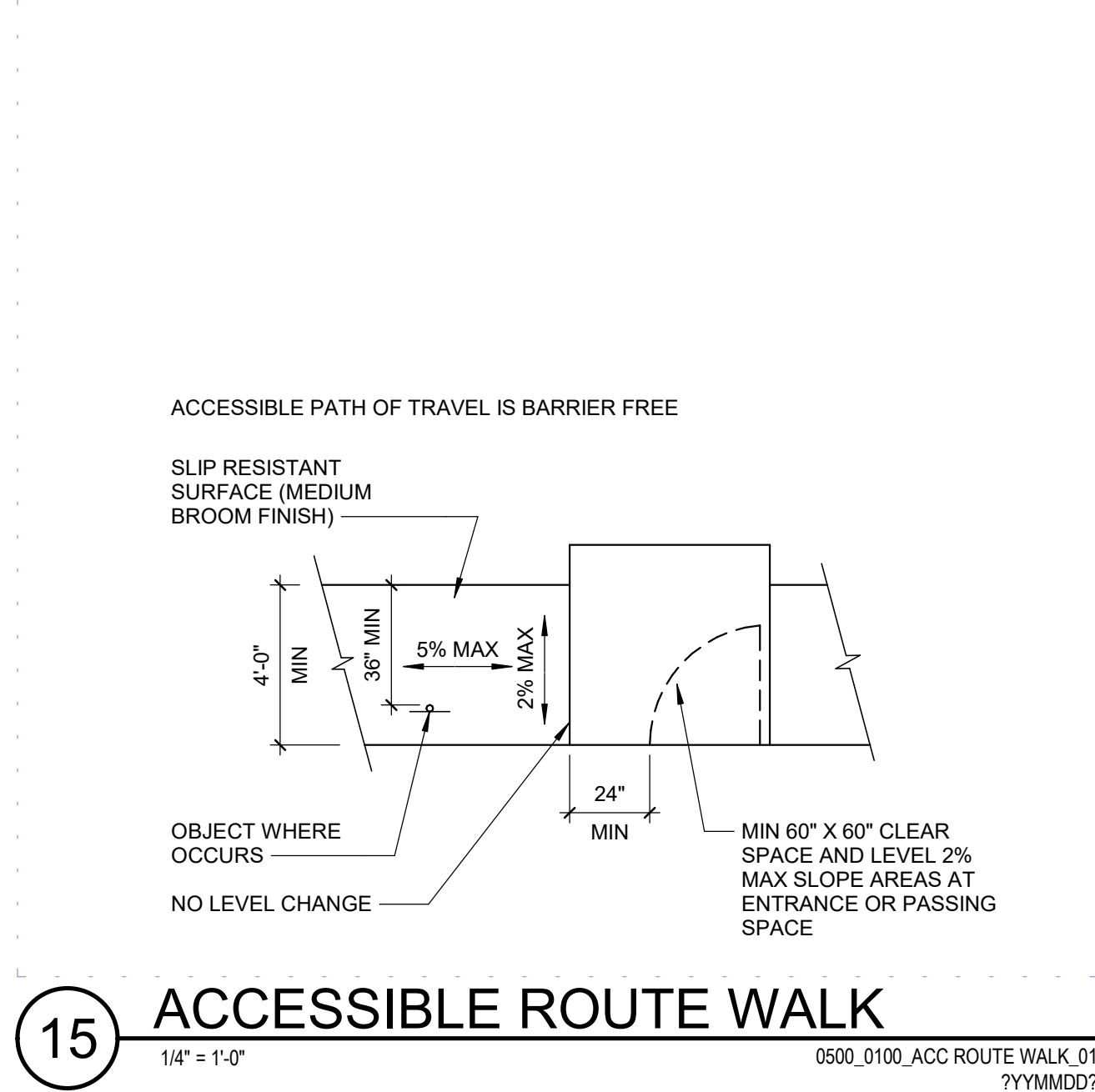
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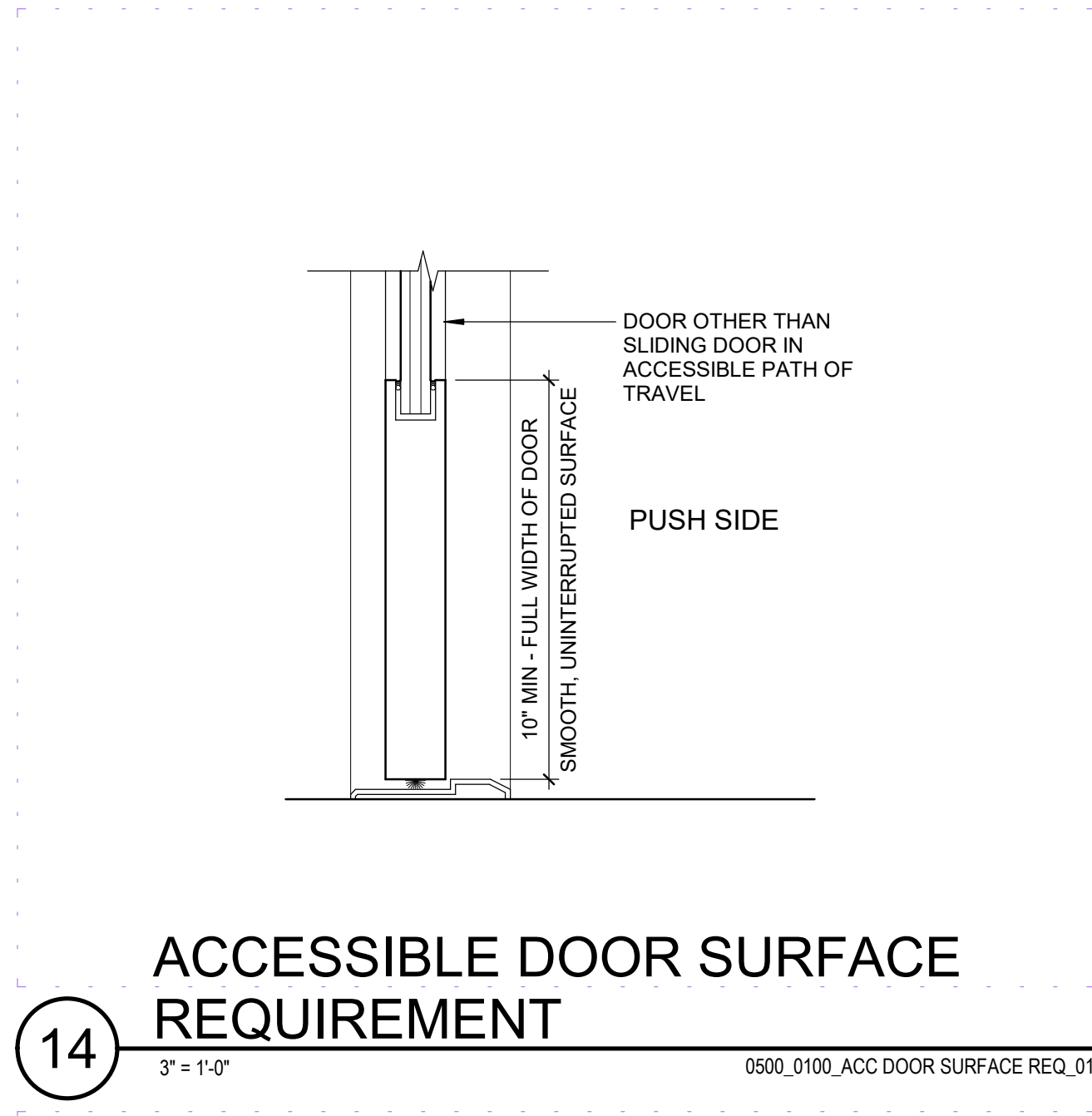
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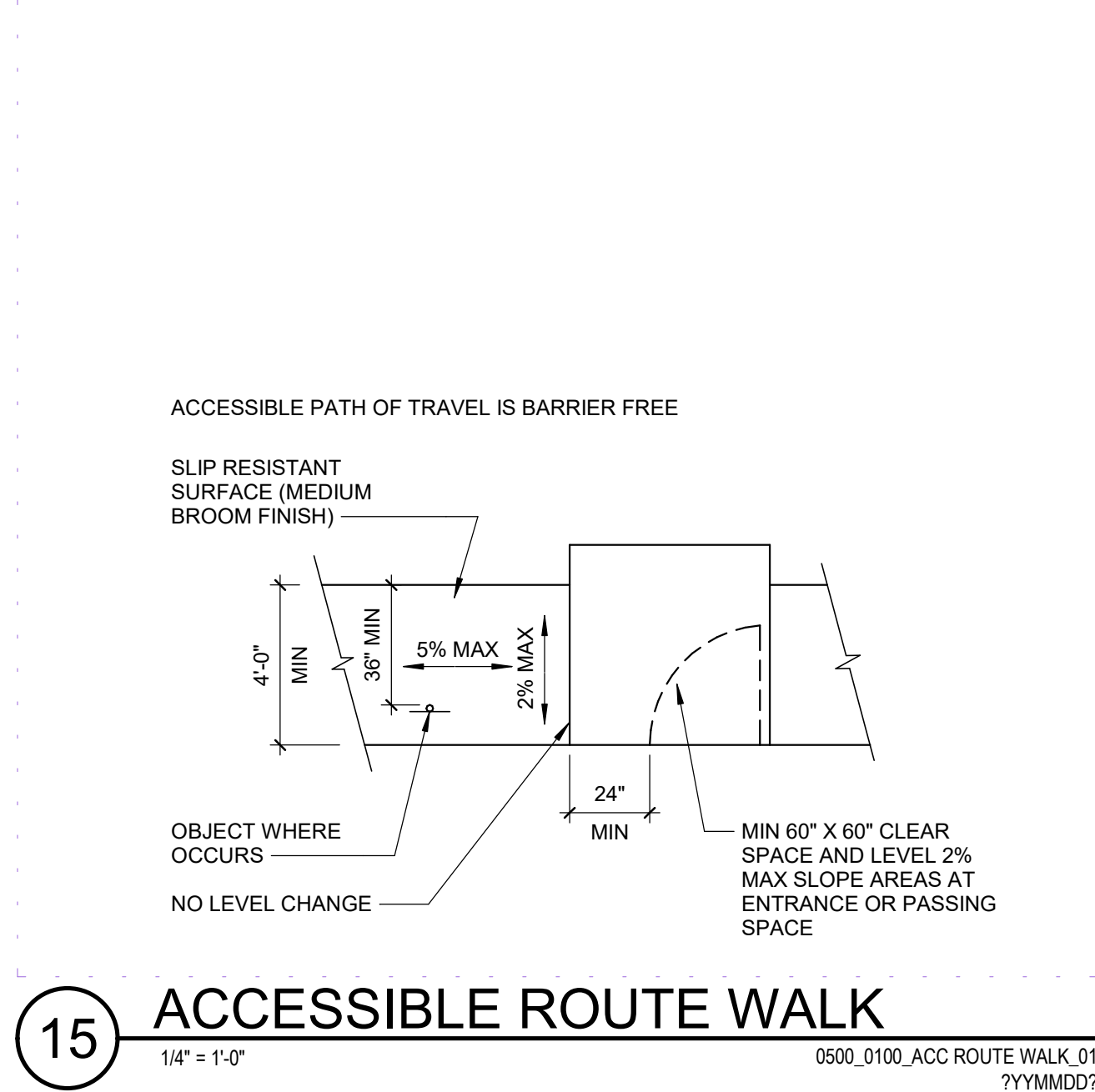
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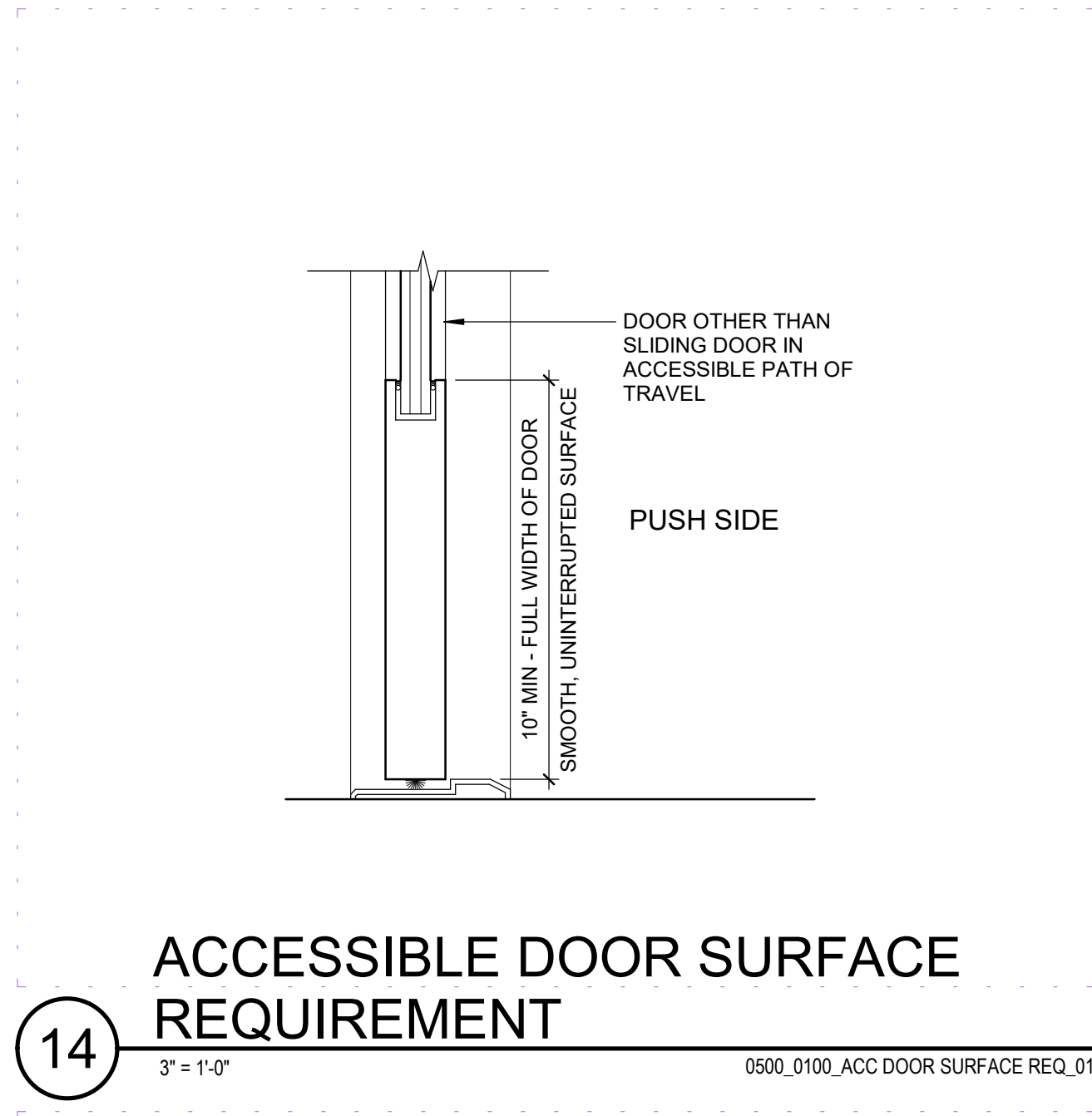
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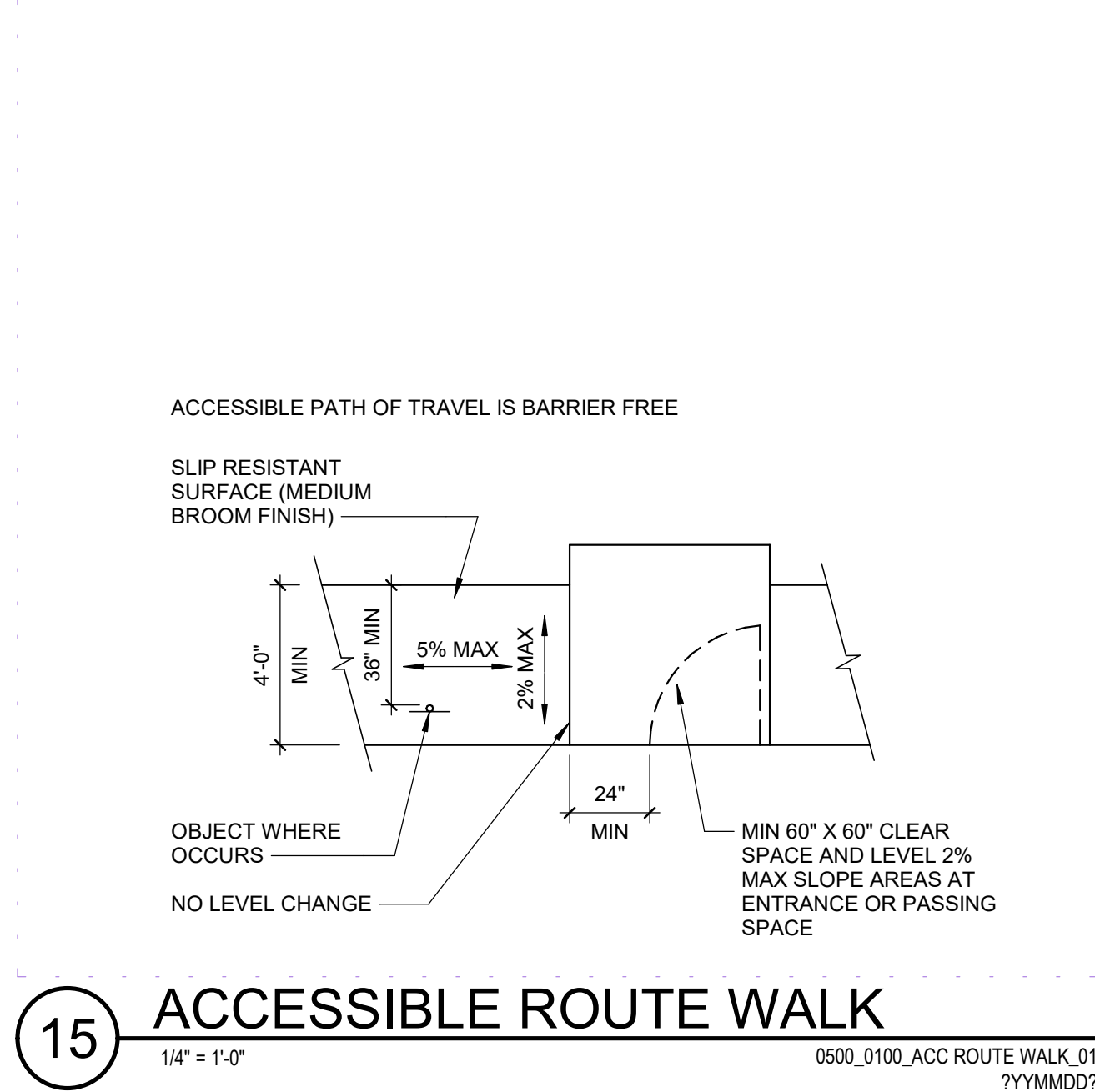
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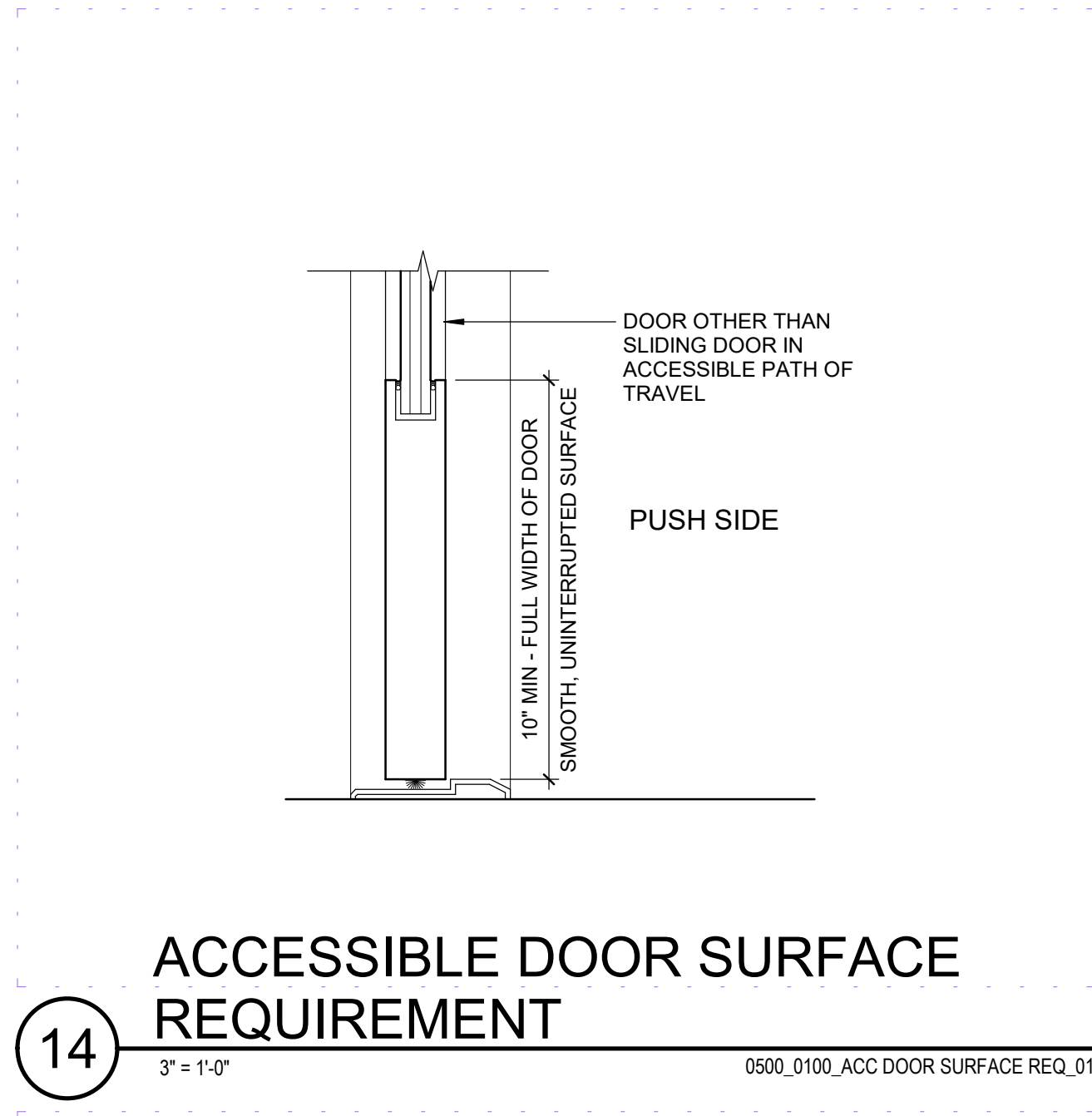
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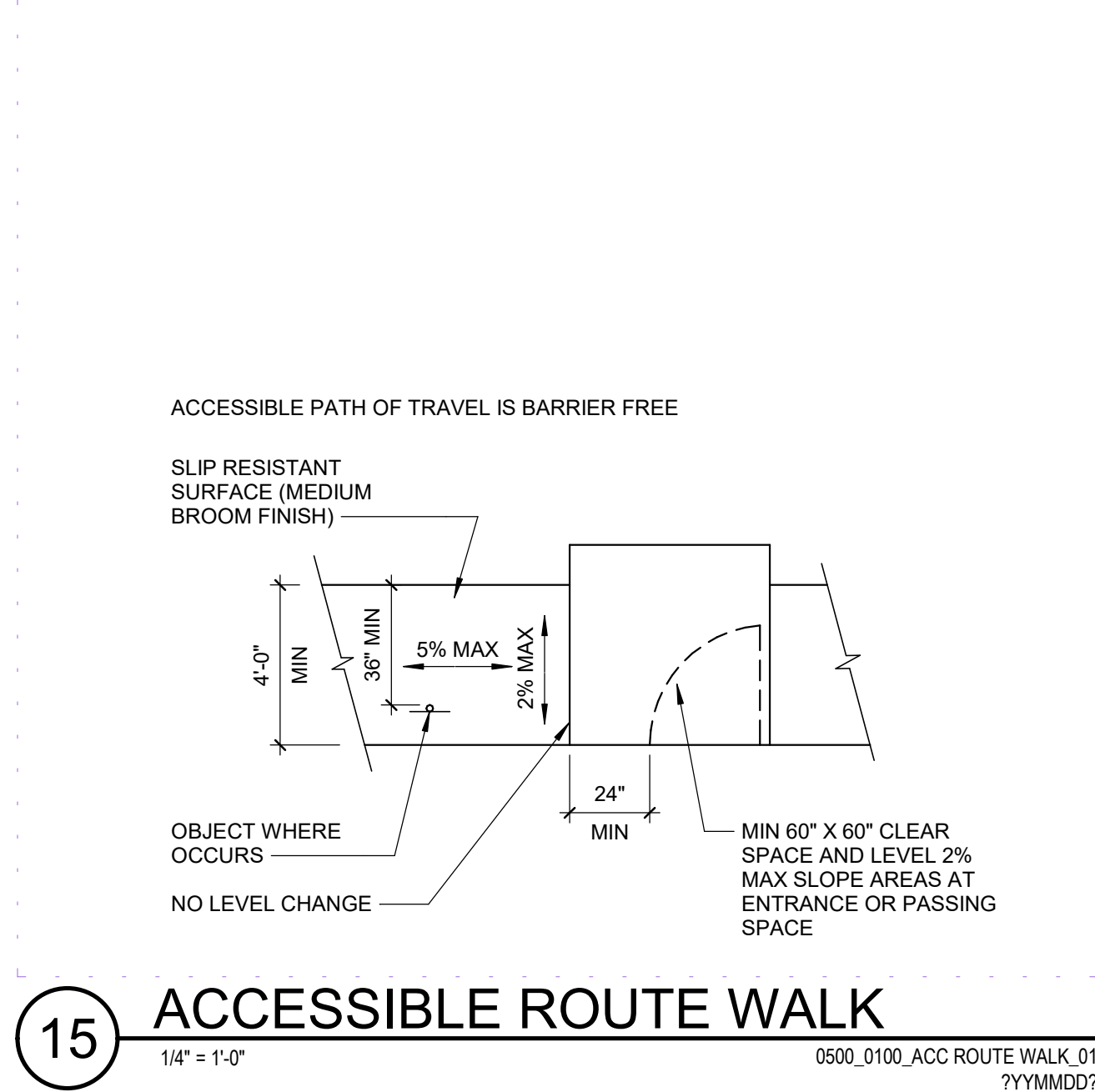
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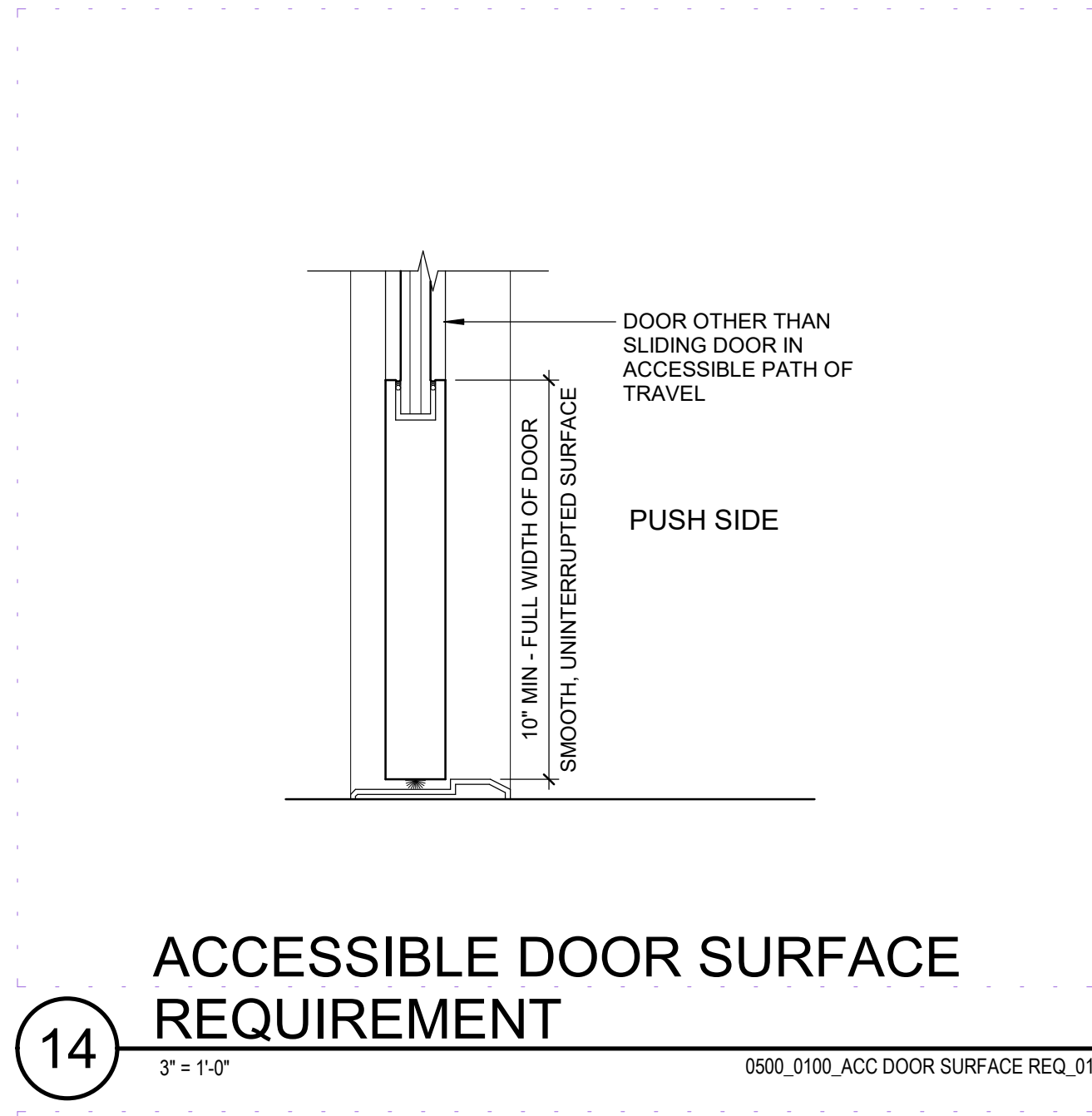
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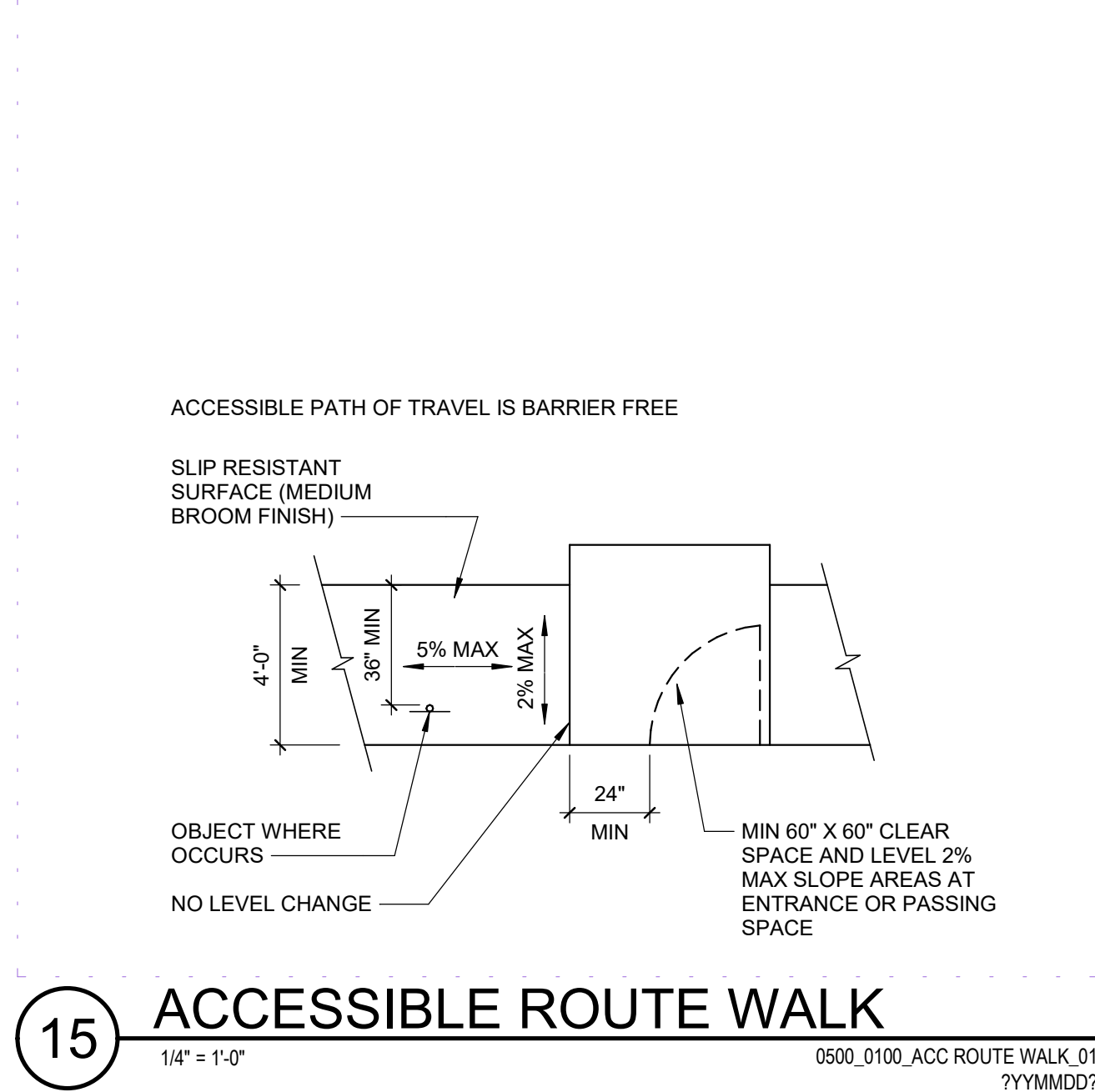
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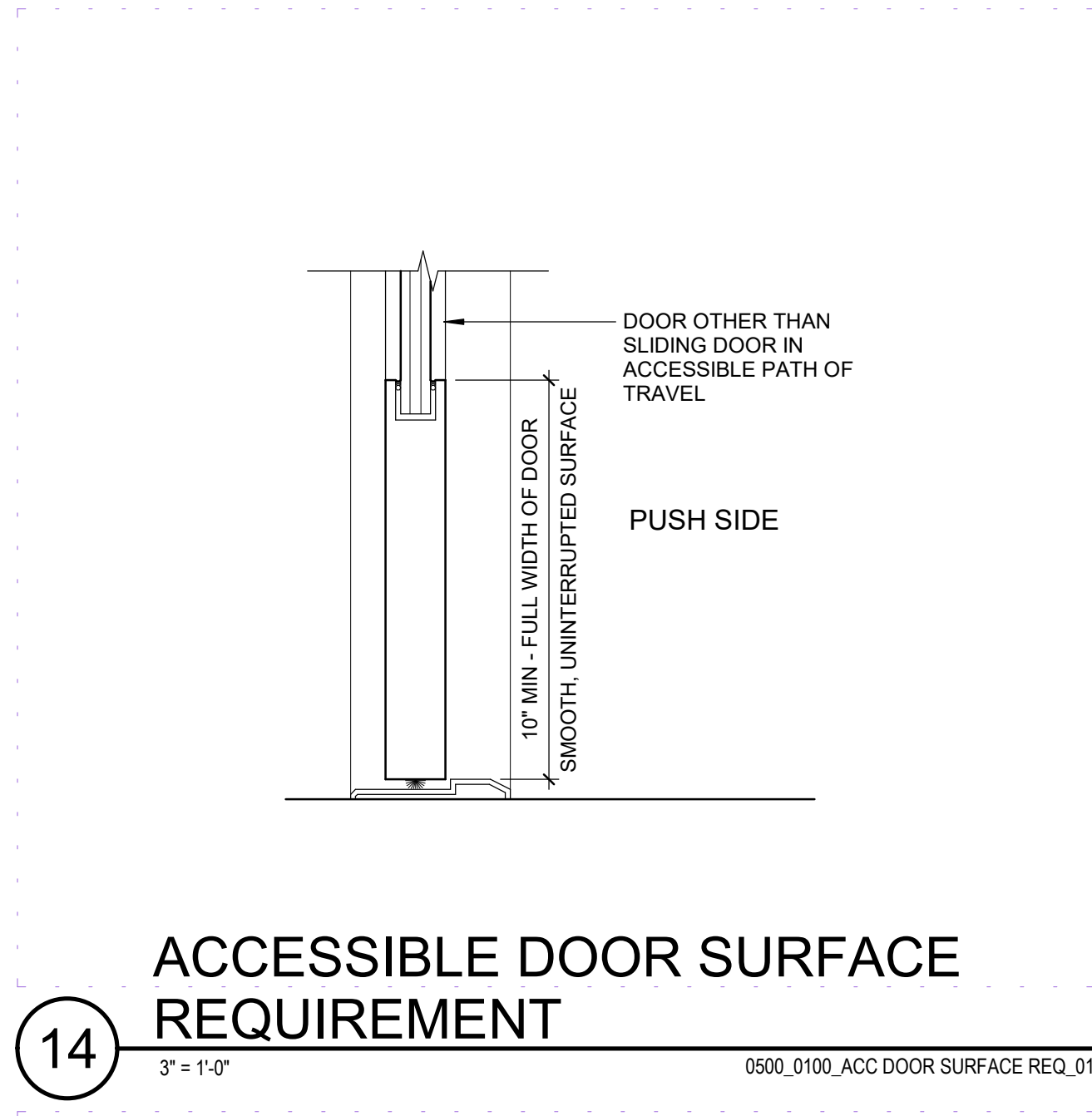
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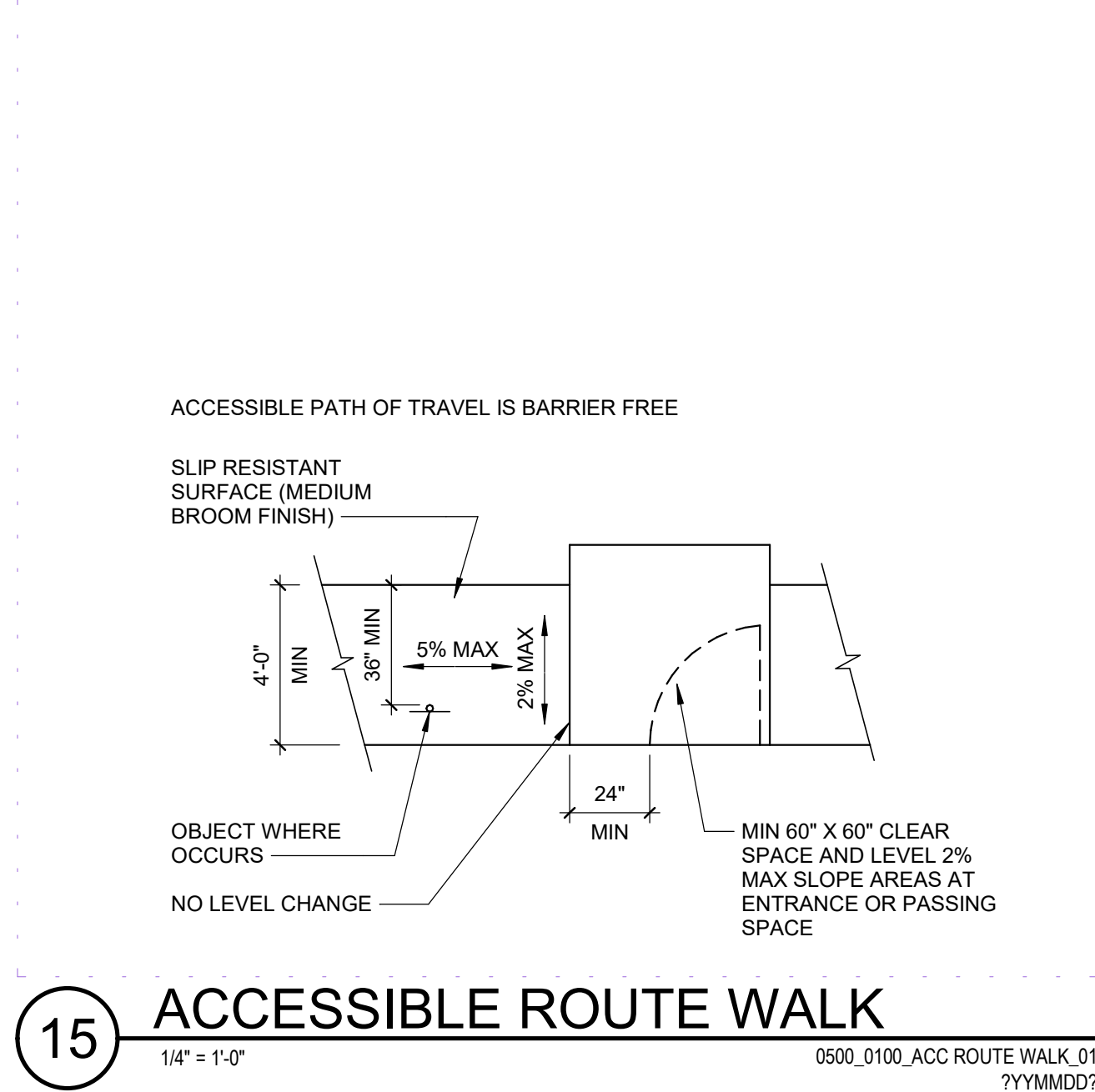
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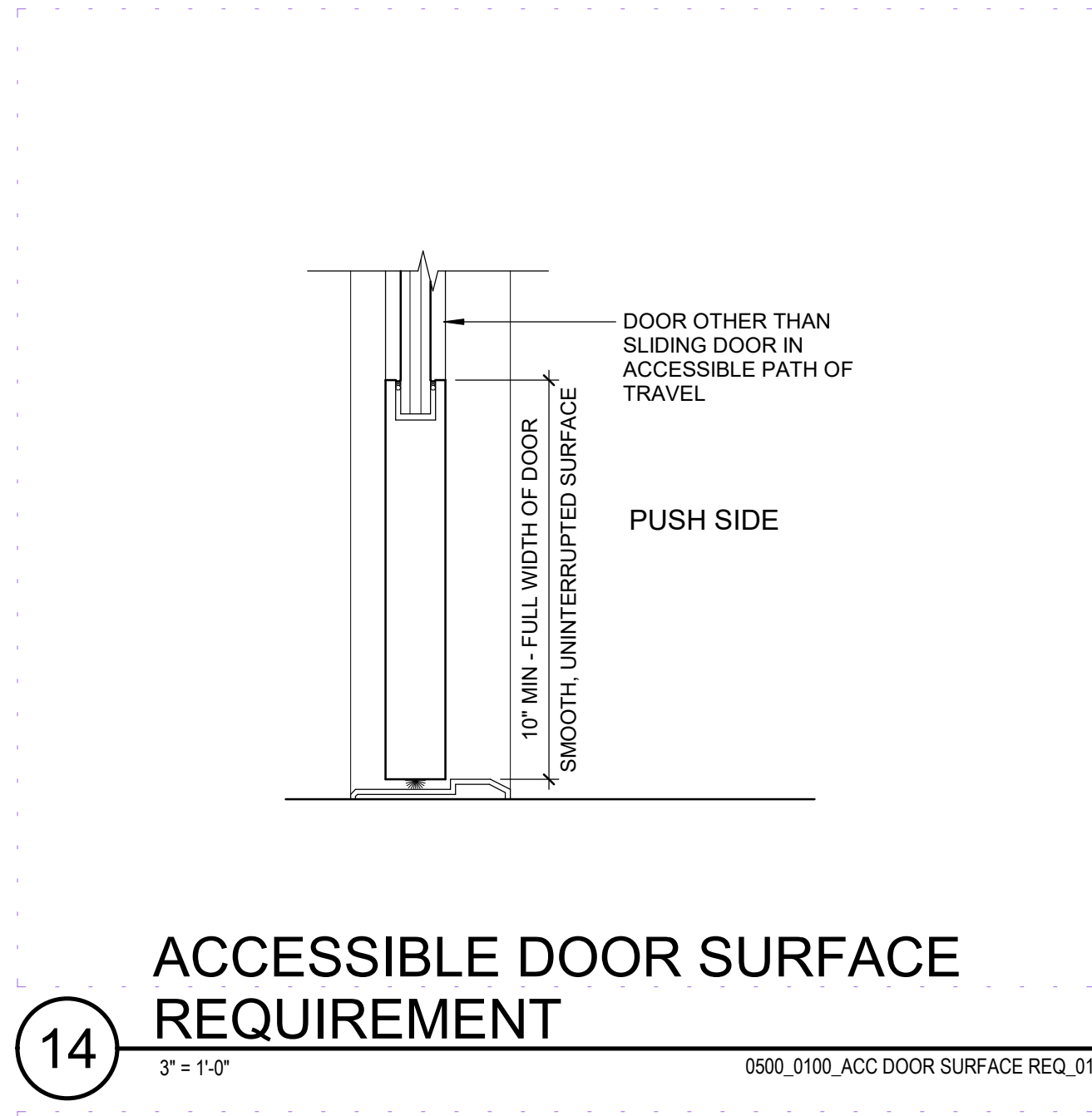
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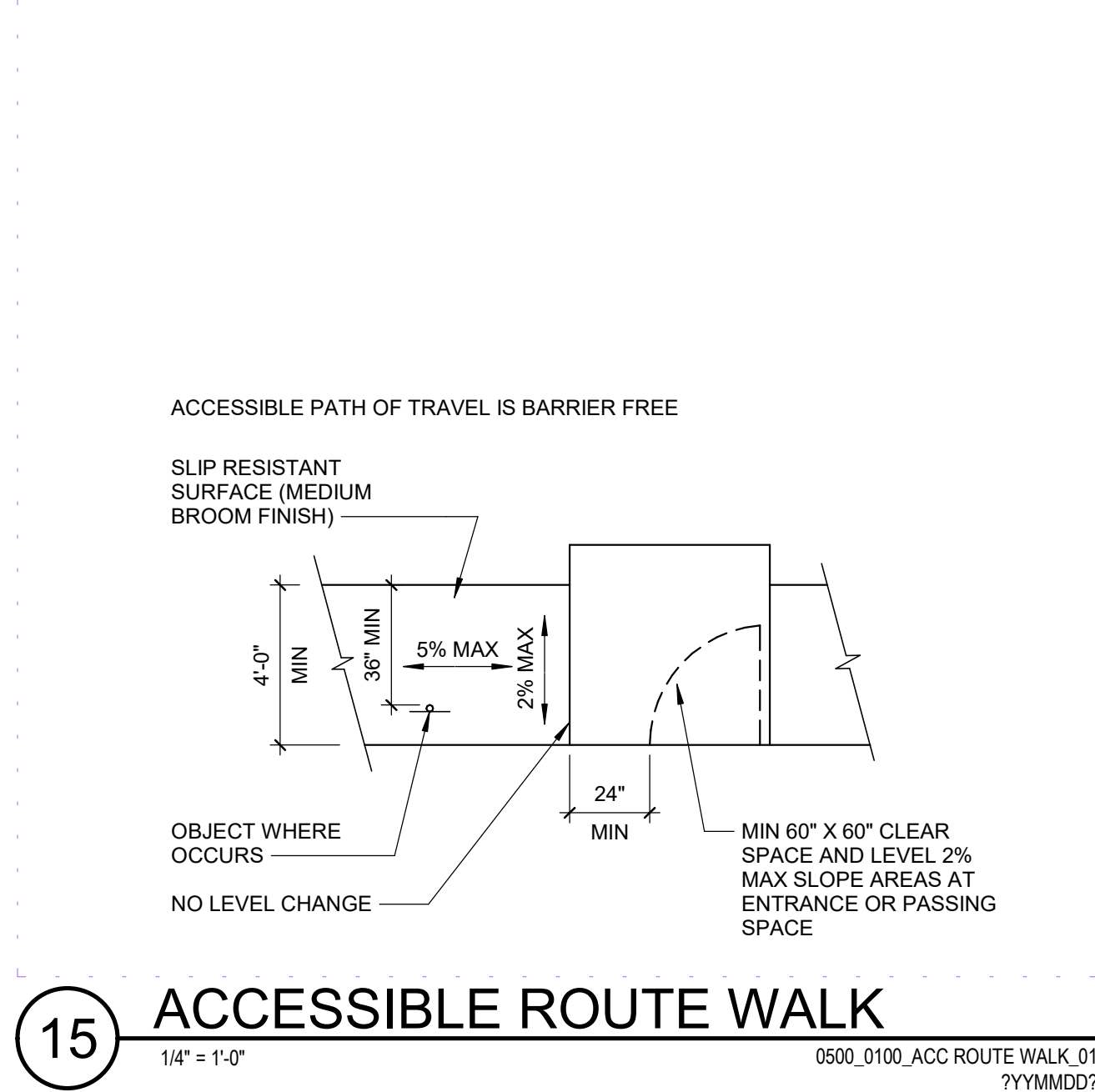
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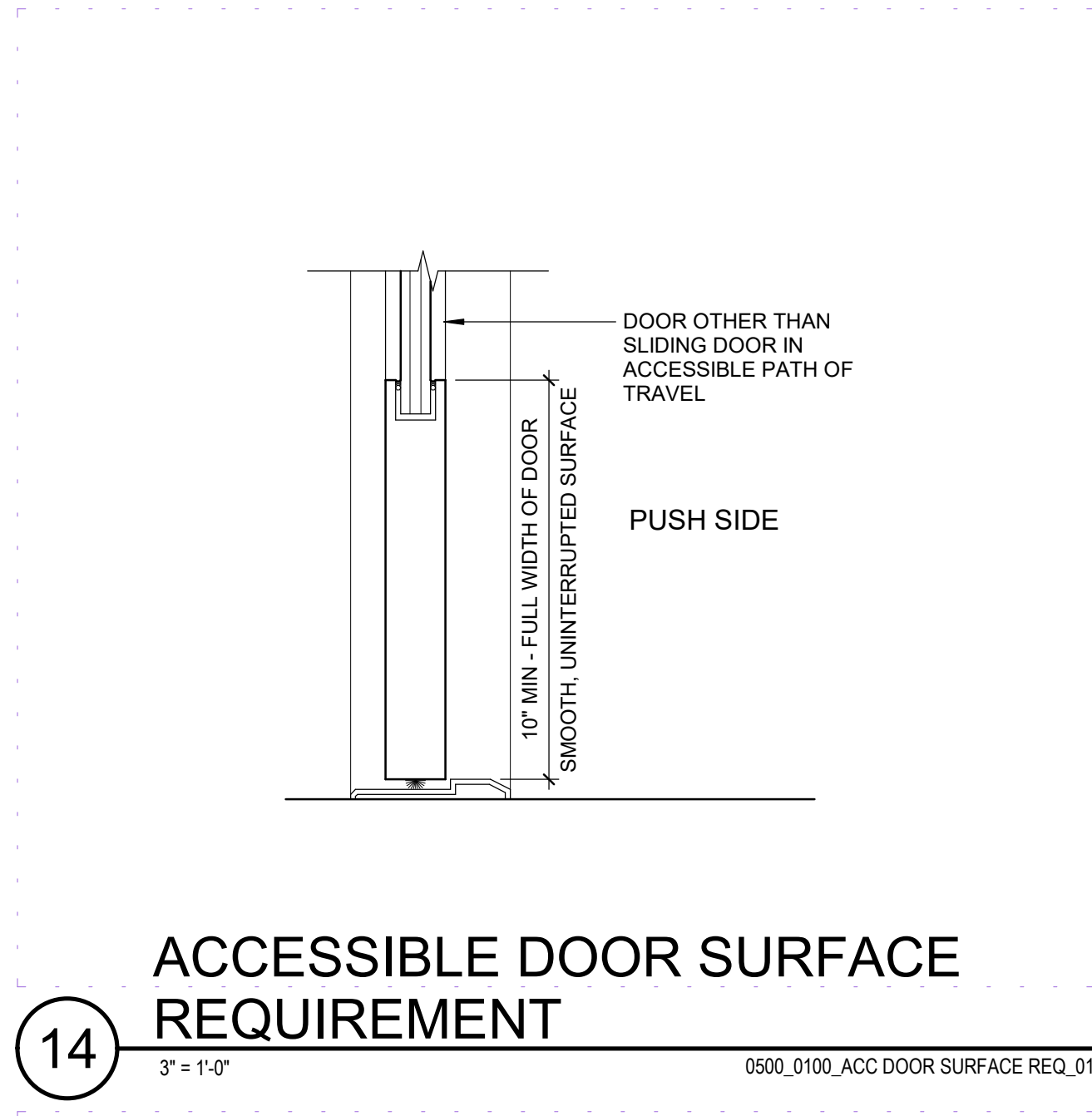
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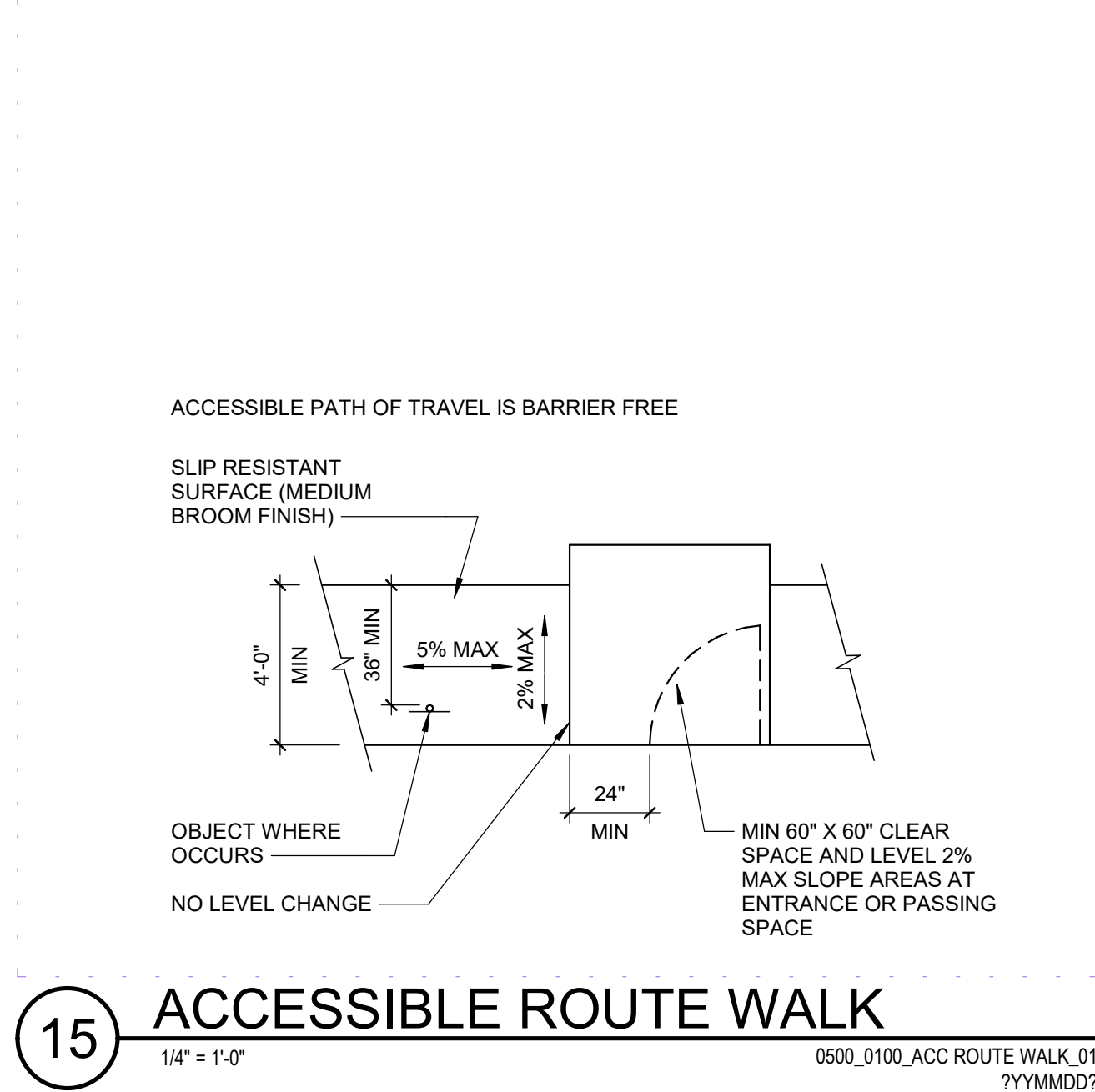
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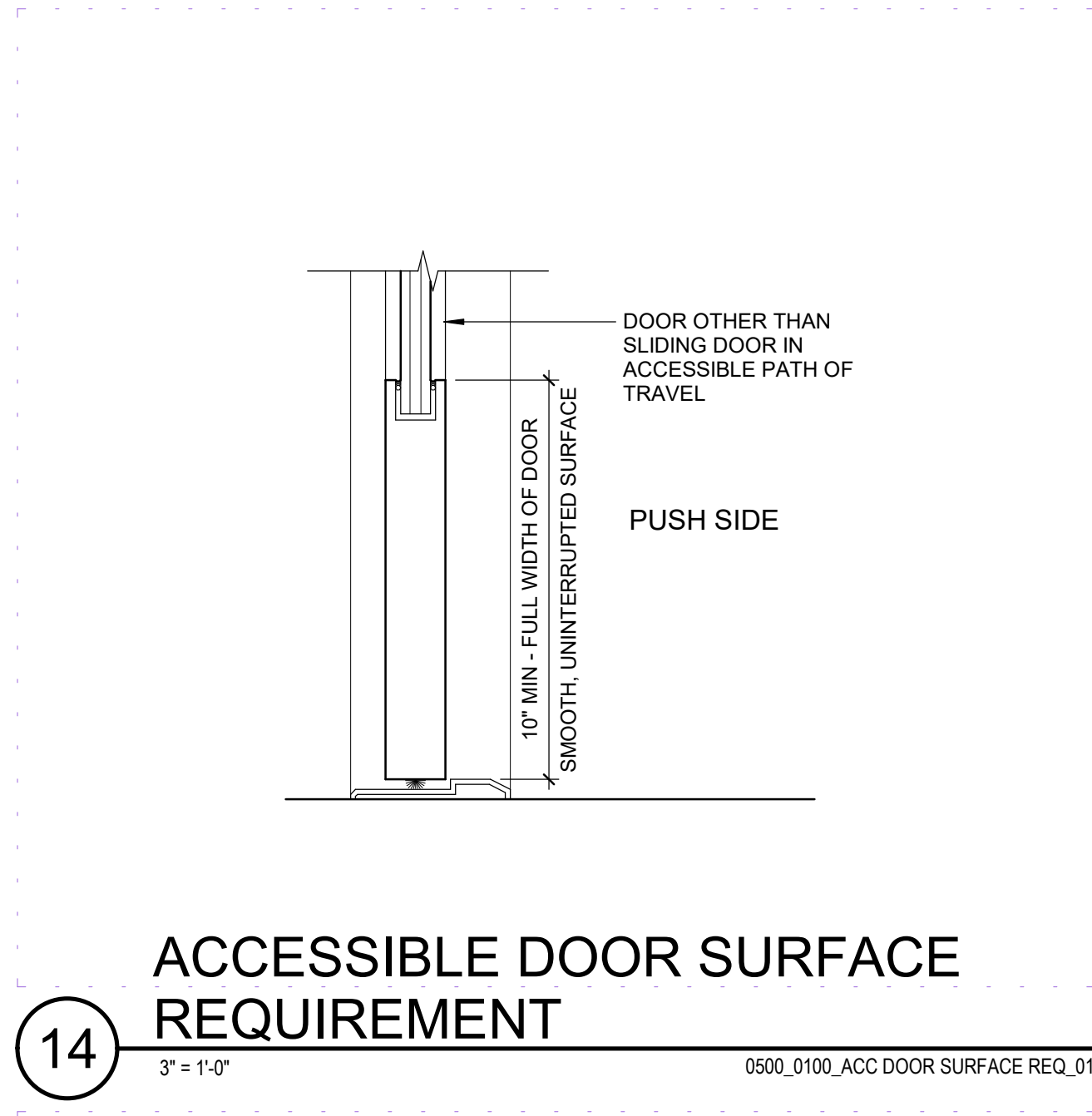
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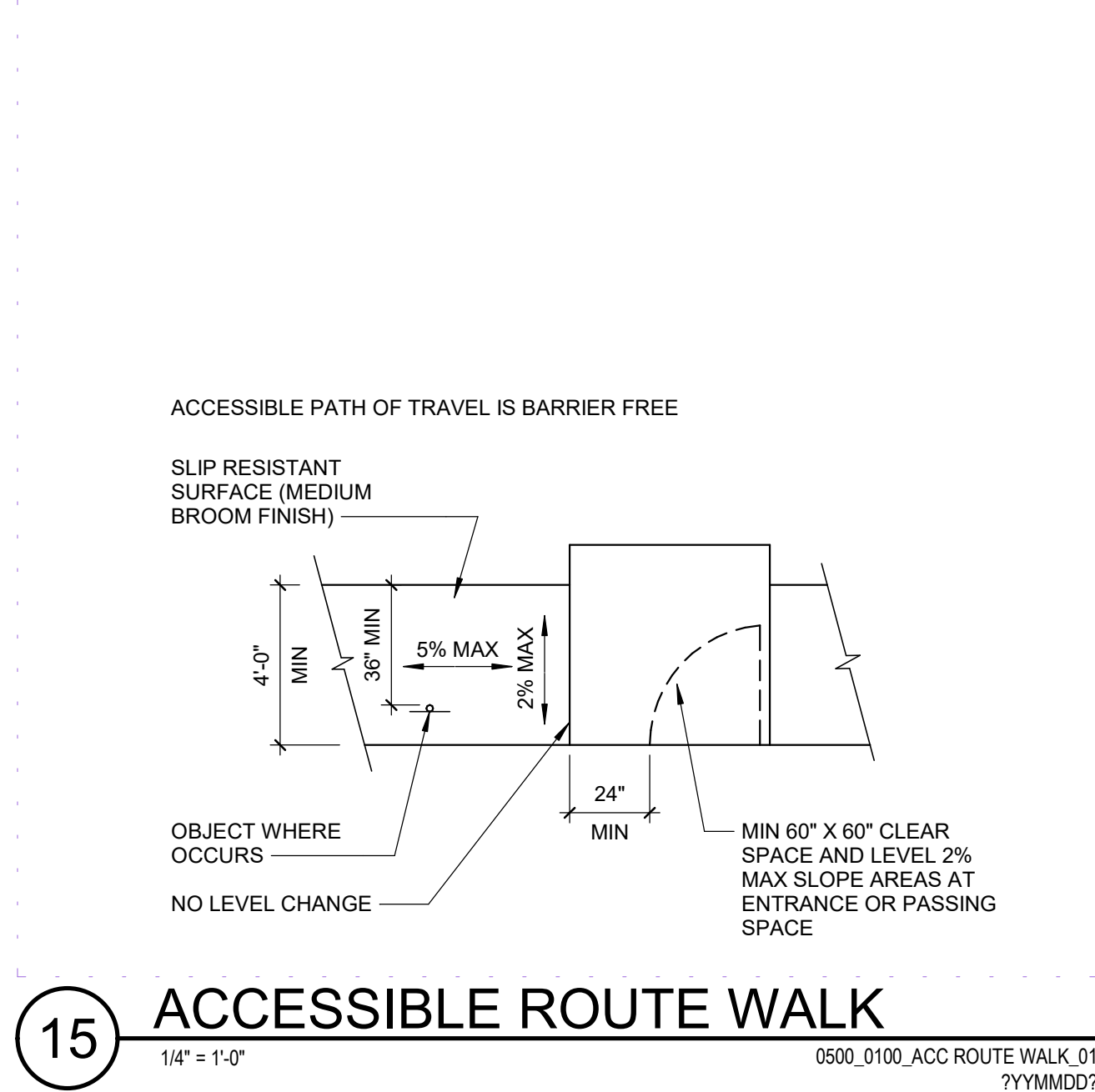
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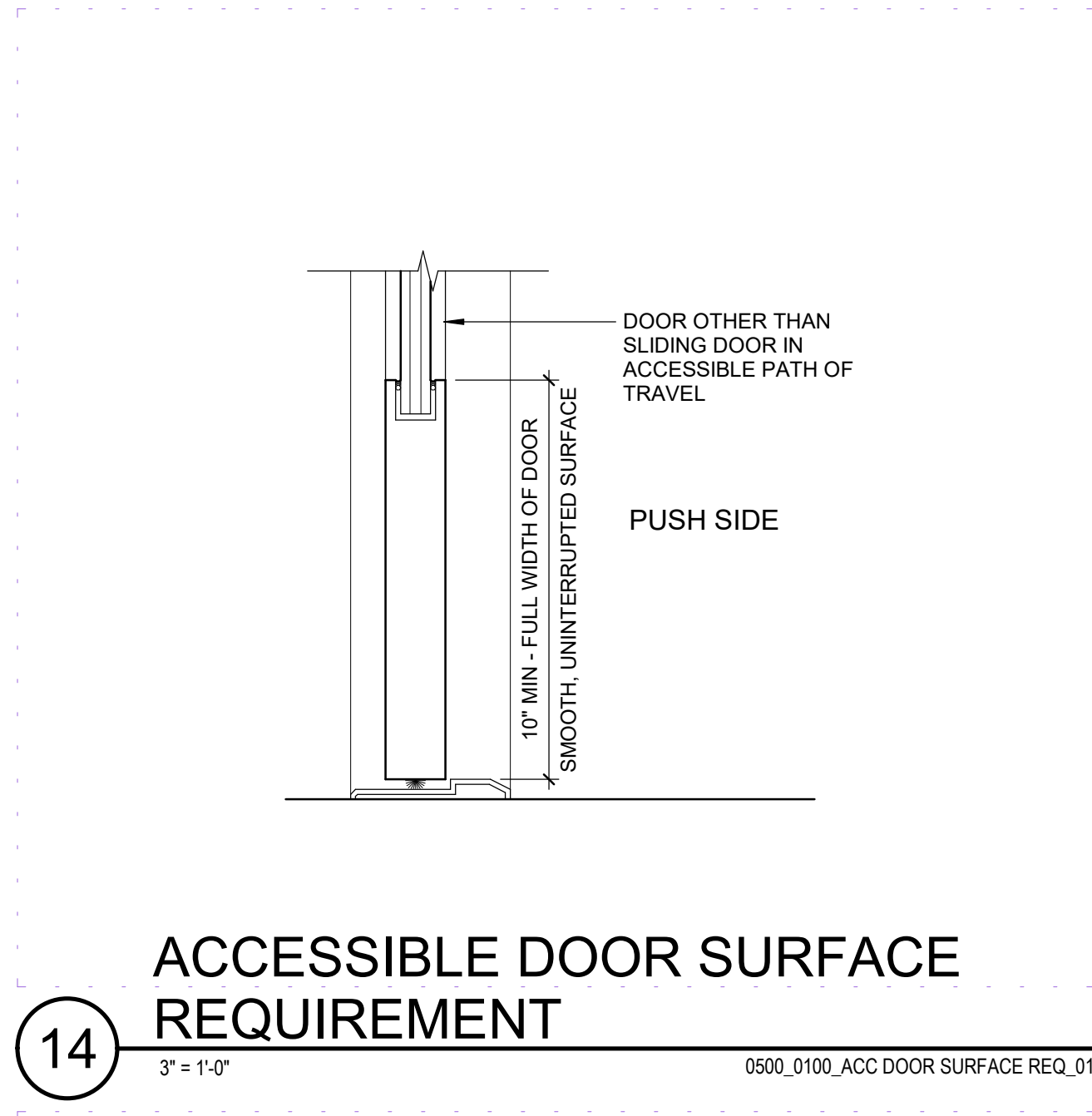
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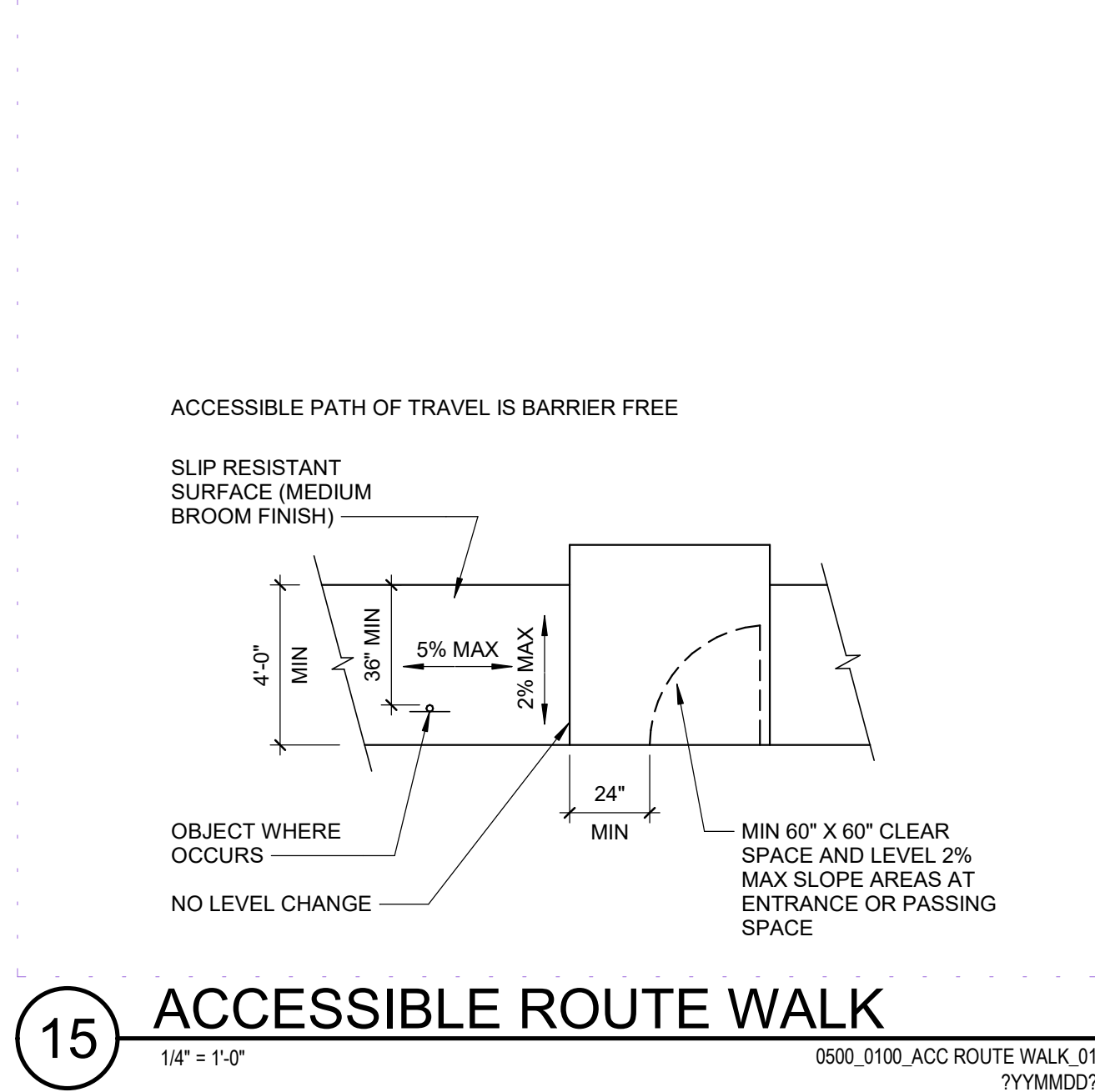
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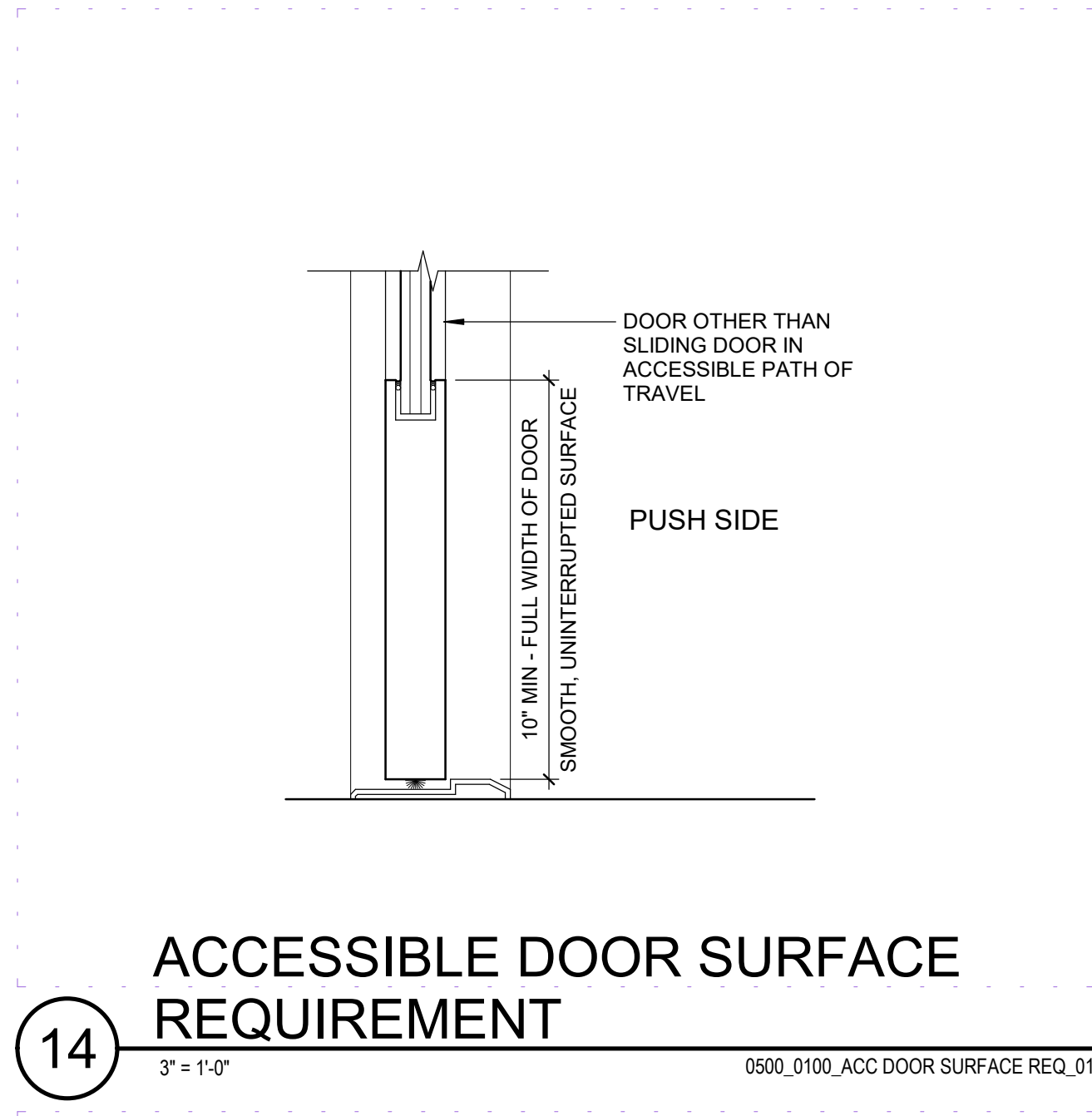
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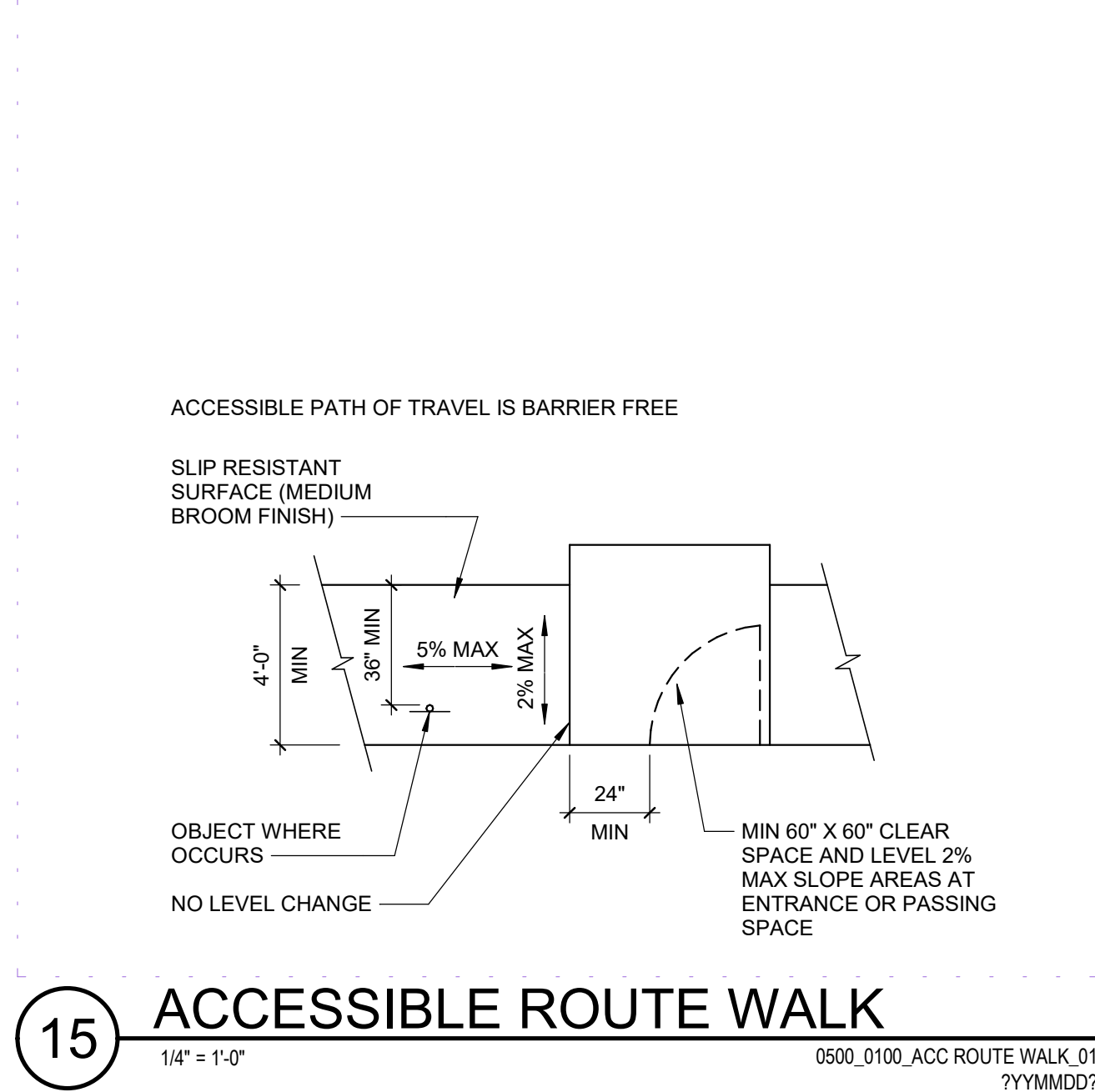
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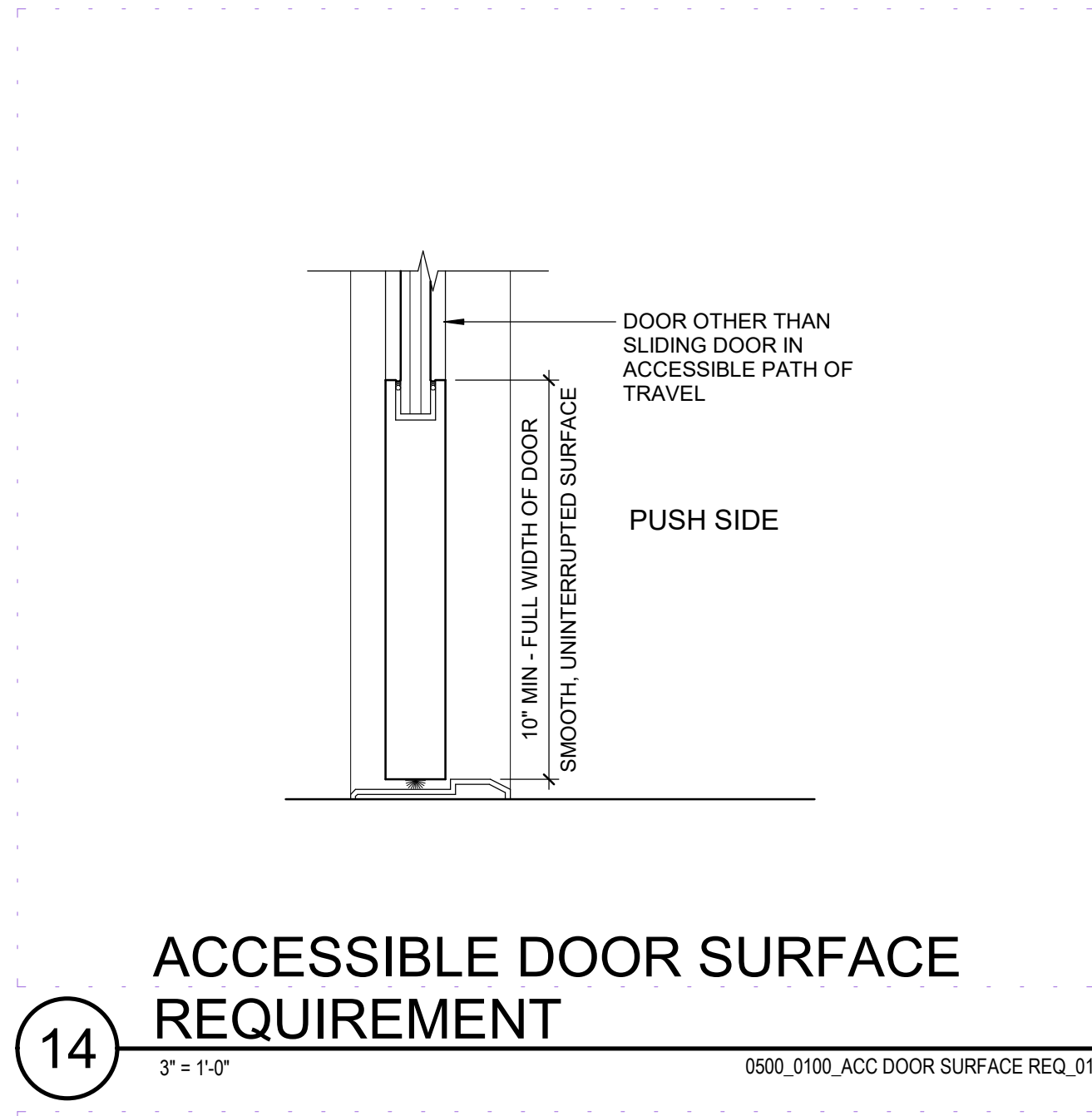
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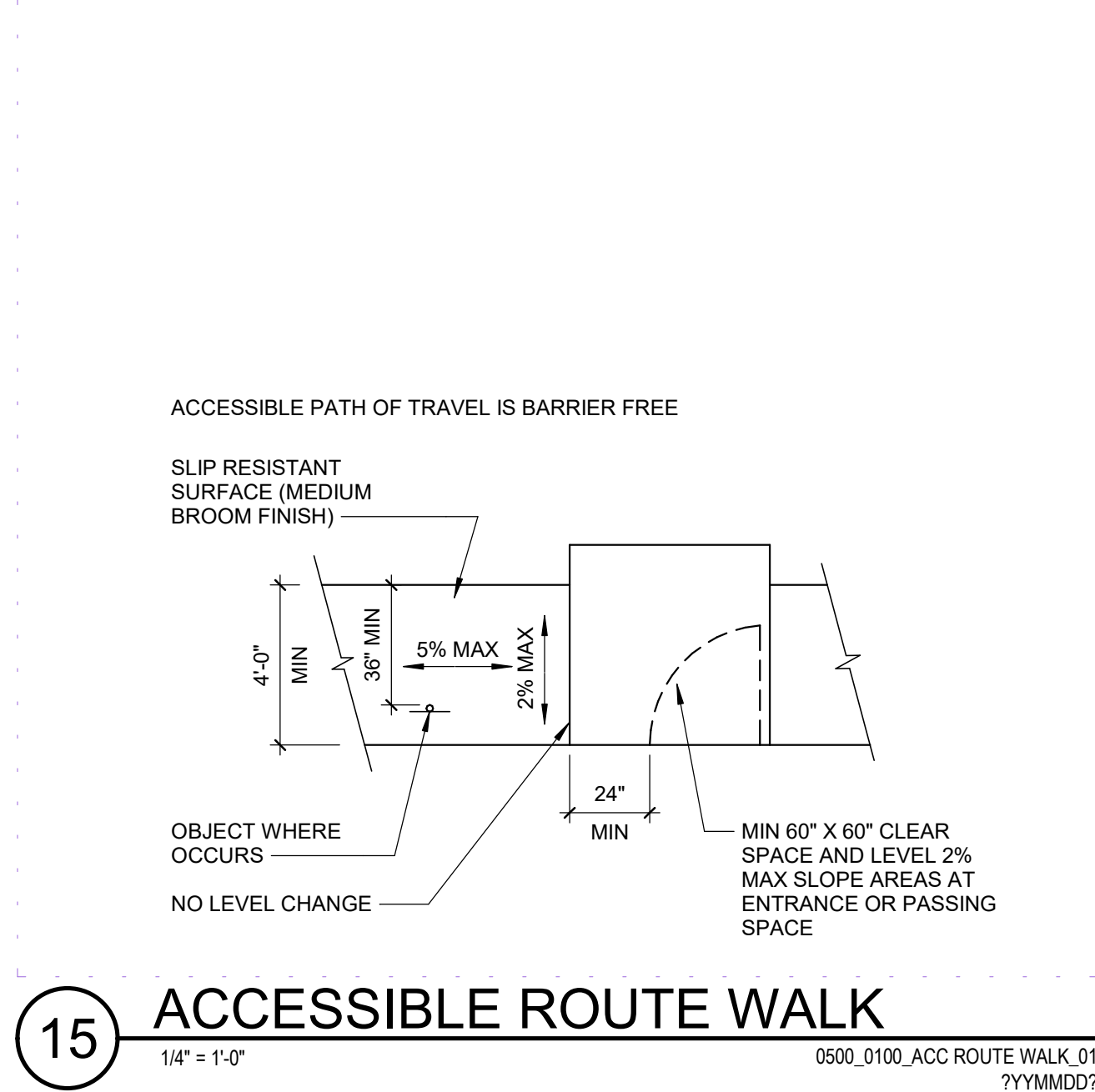
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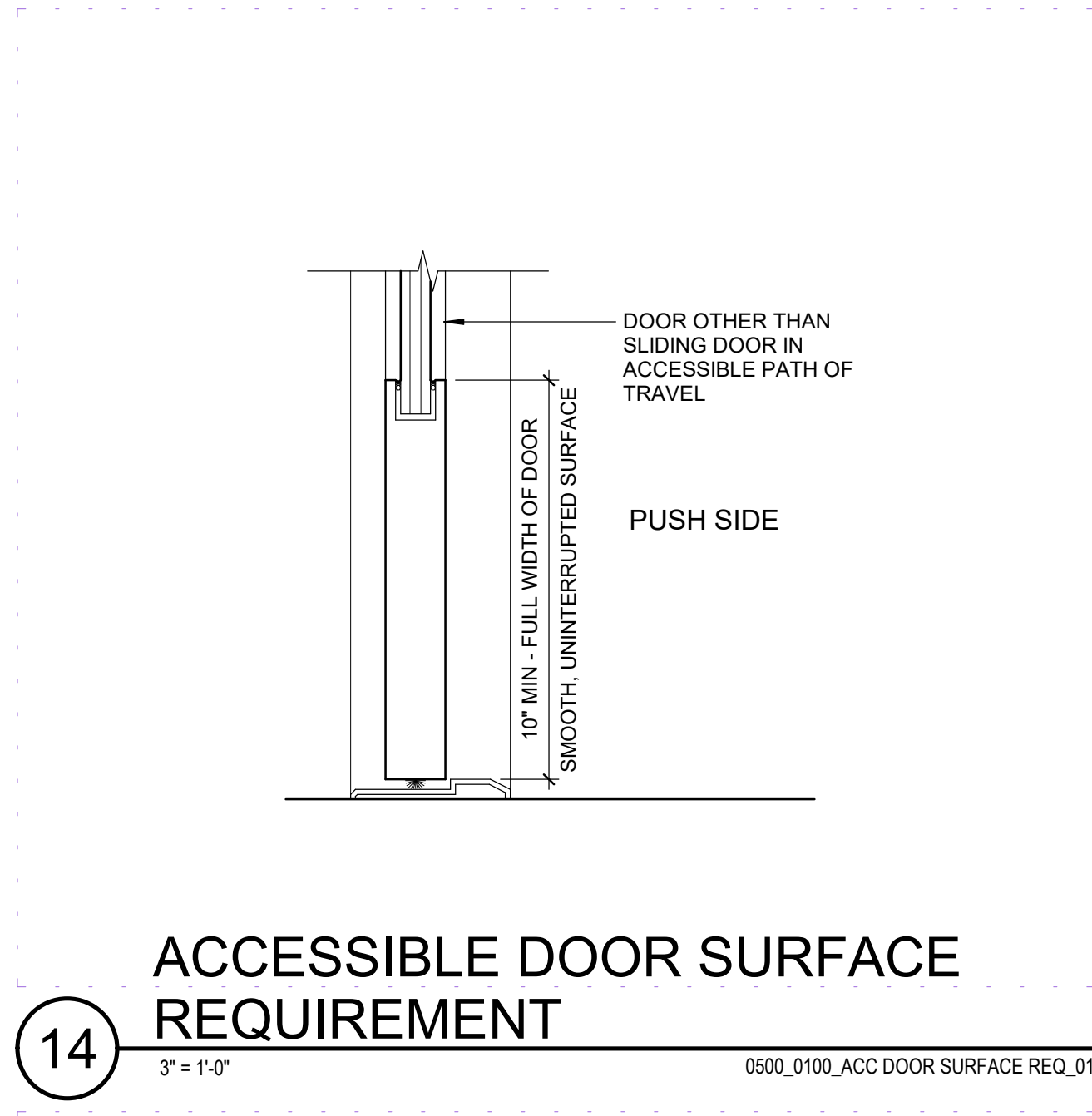
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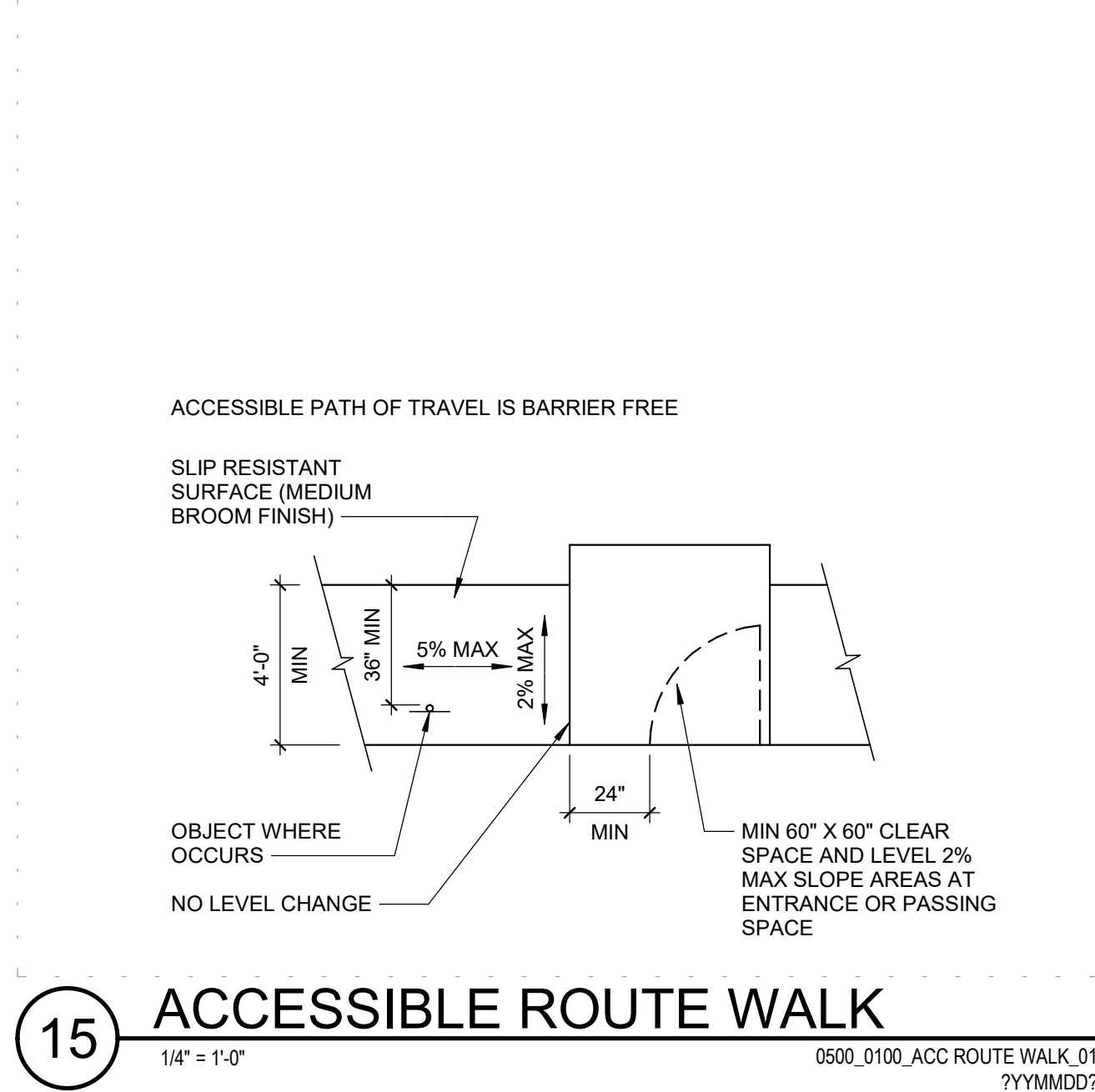
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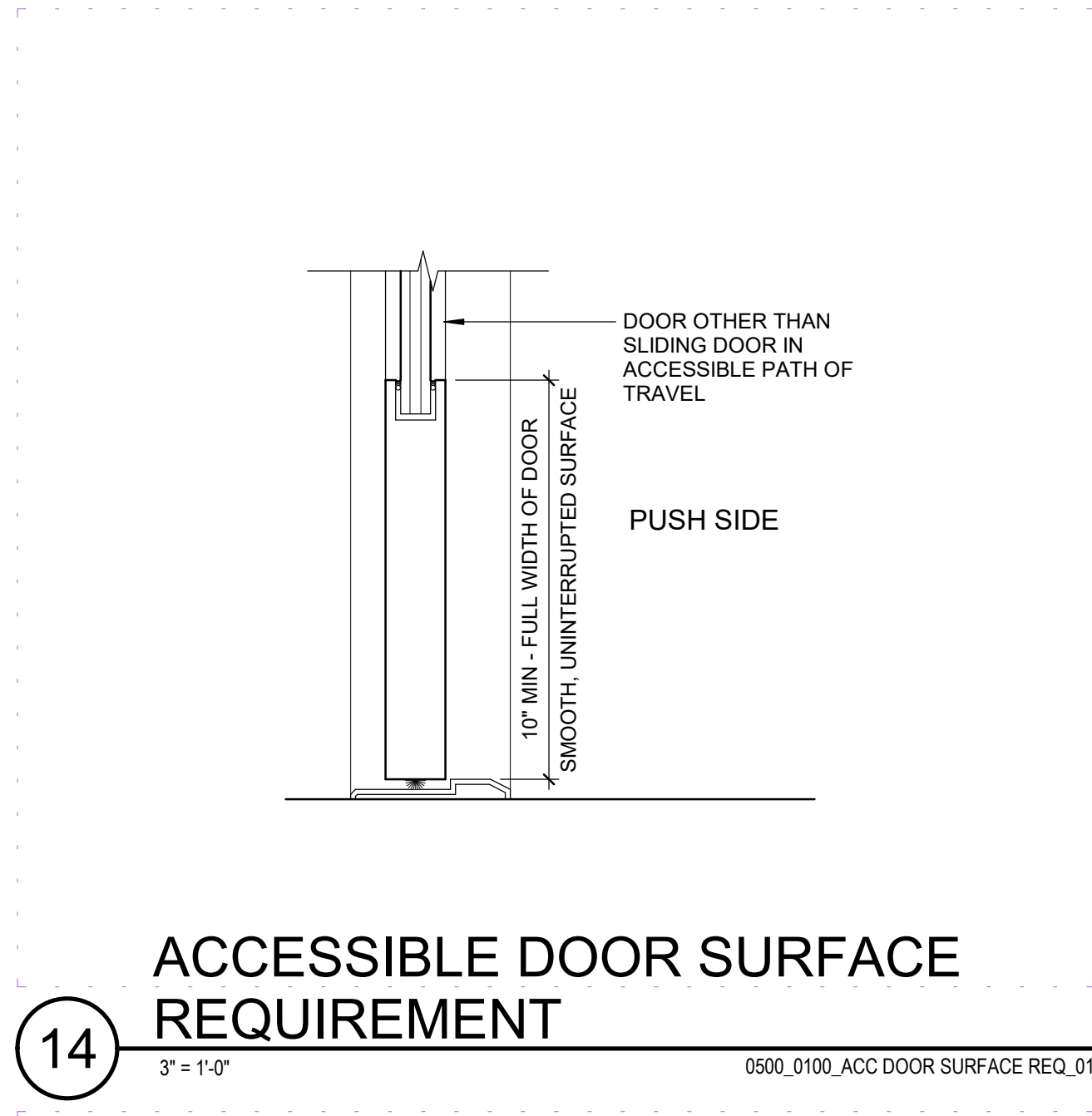
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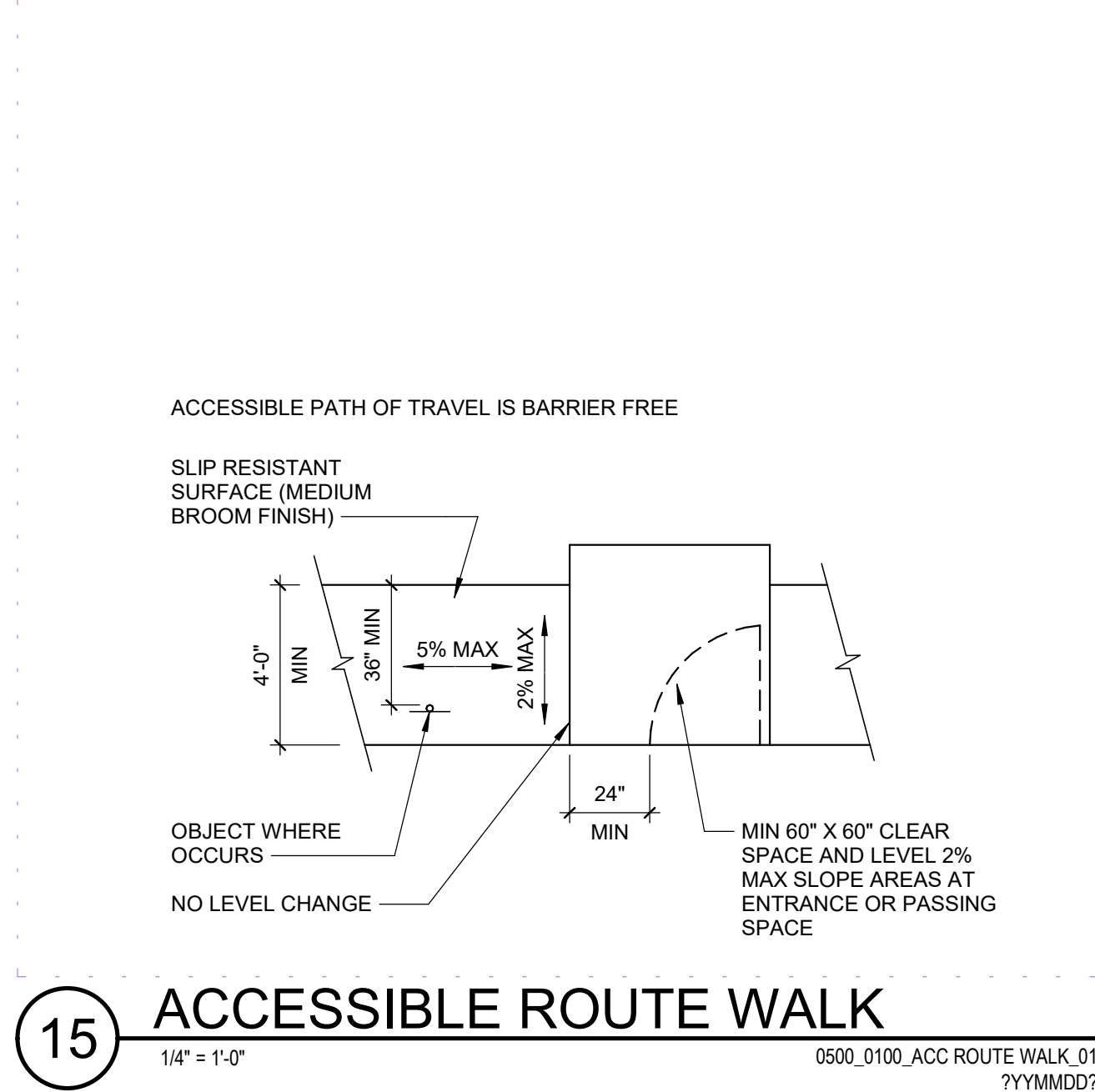
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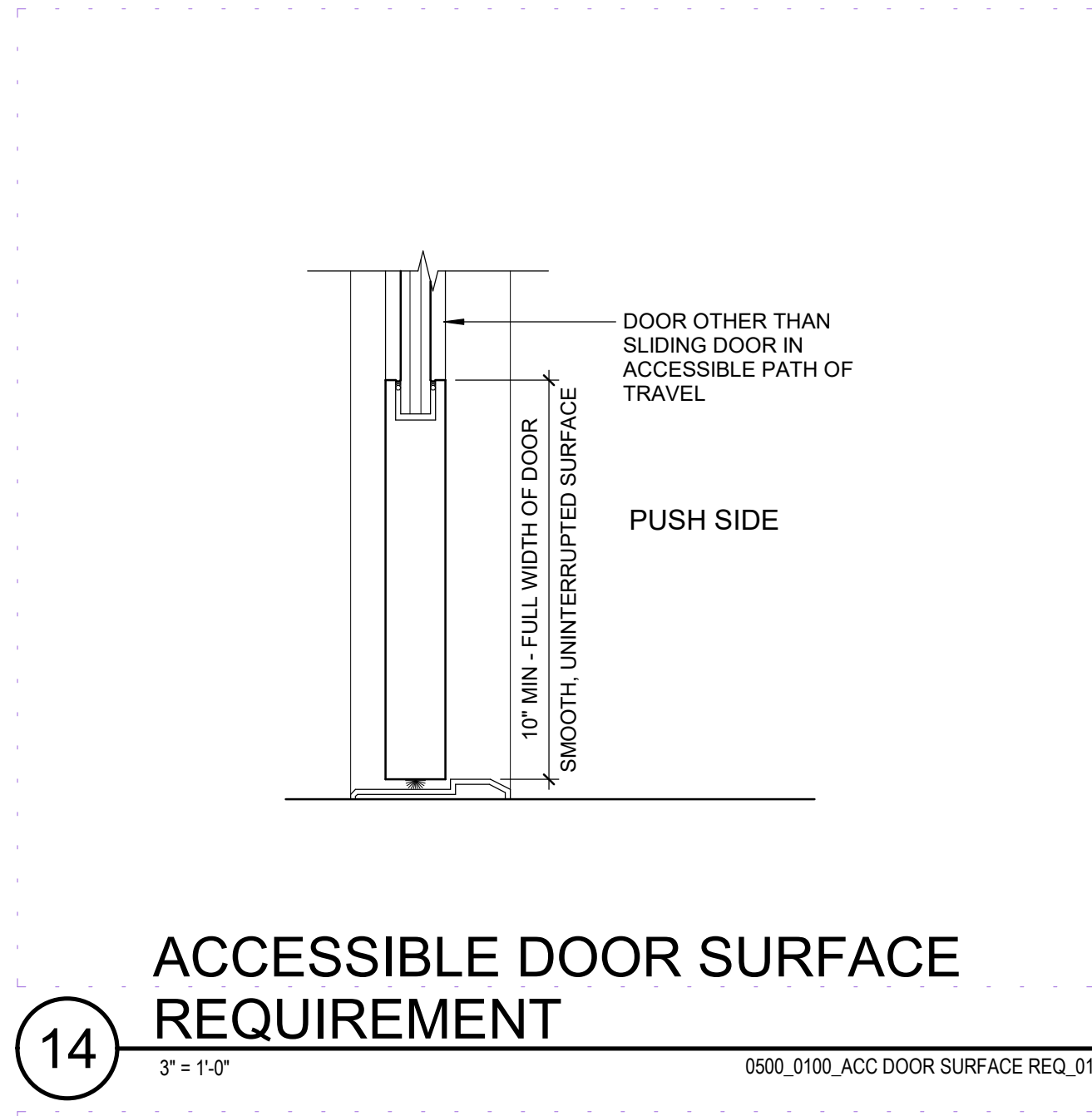
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1/4" = 1'-0"

0500_0100_ACC ROUTE WALK.01





1. BEFORE ANY DEMOLITION, CONTRACTOR TO VERIFY EXTENT OF WORK AND ISOLATE WORK AREA. VERIFY THAT ALL PARTITIONS WHICH ARE REMOVED ARE NOT SHEAR NOR LOAD BEARING.
2. THE CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD INSPECT ALL EXISTING CONDITIONS WHICH MAY REMAIN. IDENTIFY ANY DAMAGED CONDITIONS AND PROVIDE PATCHING AND REPAIR OF THESE ITEMS.
3. REMOVE ALL EXISTING ROOM FINISHES IN ROOMS THAT CONSTRUCTION IS TAKING PLACE. FOR ROOM FINISH SCHEDULE, LEGEND & NOTES REFER TO SHEET (L641)
4. ALL EXISTING, TO REMAIN FINISHES, TO BE PROTECTED AS NECESSARY DURING CONSTRUCTION.
5. ALL WALL MOUNTED ITEMS, SIGNAGE, EQUIPMENT, FURNITURE - REMOVE, STORE, AND REINSTALL OR RETURN TO OWNER
6. ALL FLOORING AND BASE WITHIN SCOPE OF WORK TO BE DEMOLISHED

CONSULTANT



CLIENT
COUNTY OF TUOLUMNE
?CLIENT ADDRESS?

AD01	REMOVE WALL FRAMING AND GYP BOARD FINISH
AD02	REMOVE DOOR, FRAME, AND HARDWARE
AD03	REMOVE WALL FRAMING AND GYP BOARD FINISH FOR INSTALLATION OF NEW DOOR
AD07	REMOVE EXISTING TOILET PARTITIONS
AD08	REMOVE EXISTING PLUMBING FIXTURES
AD09	REMOVE EXISTING RESTROOM ACCESSORIES
AD10	EXISTING PLUMBING FIXTURES TO REMAIN
AD11	REMOVE EXISTING CASEWORK
AD13	REMOVE RAISED FLOOR

ISSUED		
MARK	DATE	DESCRIPTION

MANAGEMENT	
LIONAKIS PROJECT NO:	21077.01
CLIENT PROJECT NO:	700.00.007

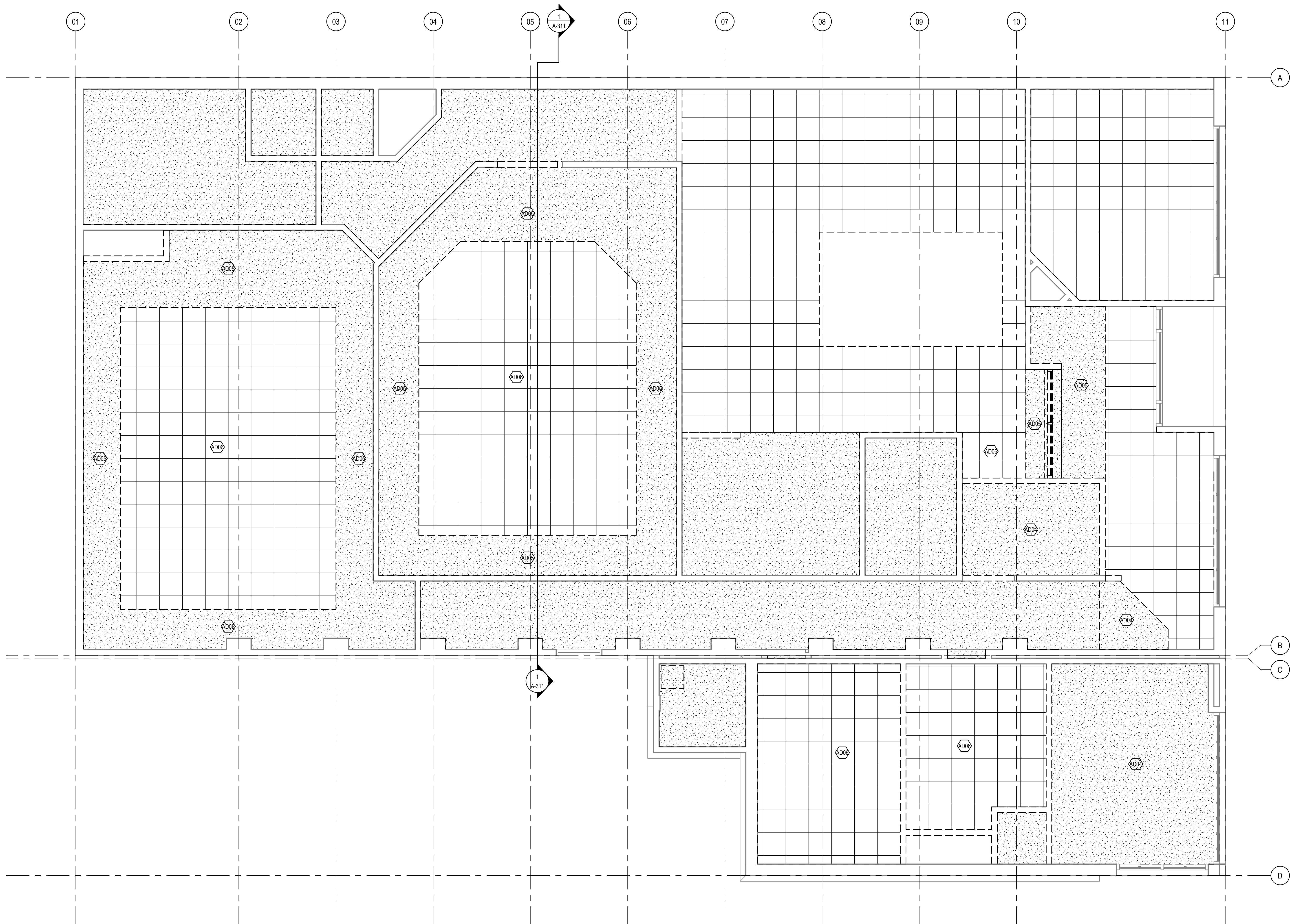
AGENCY

TITLE

DEMOLITION FLOOR
PLAN

SHEET

AD111



1 DEMOLITION CEILING PLAN - LEVEL 1 - OVERALL
SCALE: 1/4" = 1'-0"

SHEET KEYNOTES

- AD04 REMOVE EXISTING GYP. BOARD CEILING
AD05 REMOVE EXISTING GYP. BOARD SOFFIT & FRAMING
AD06 REMOVE EXISTING SUSPENDED CEILING



PROJECT
TENANT IMPROVEMENT

60 NORTH WASHINGTON STREET
SONORA, CA 95370

CLIENT
COUNTY OF TUOLUMNE
?CLIENT ADDRESS?

ISSUED		
MARK	DATE	DESCRIPTION

MANAGEMENT
LIONAKIS PROJECT NO. 21077.01
CLIENT PROJECT NO. 100.00.007

AGENCY

TITLE
DEMOLITION CEILING
PLAN

SHEET
AD121

0 1/4" 1/2" 1"

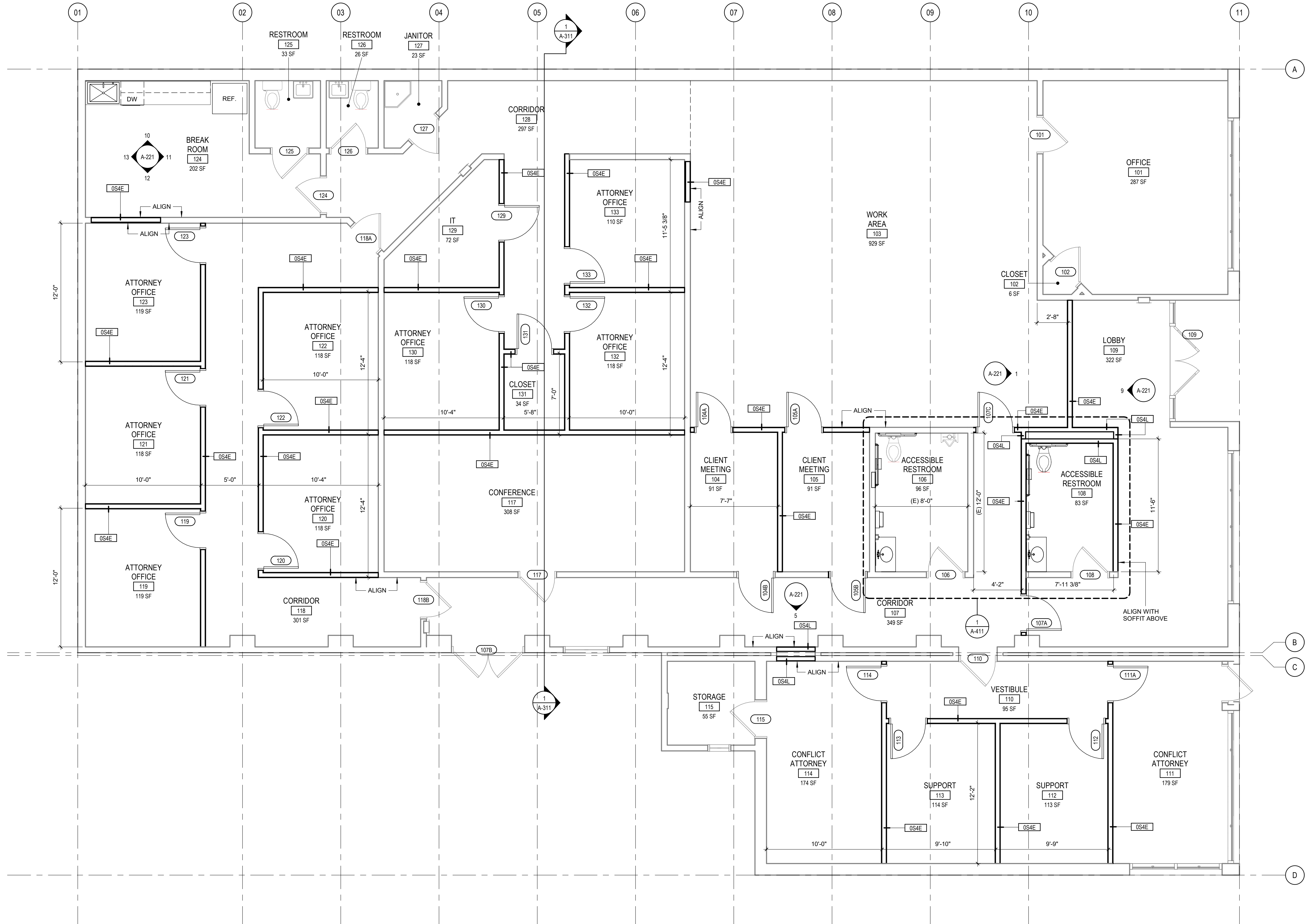
IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

C

B

Address: Docs\12\077\01 Washington Street\12\077\01_ARCHMASTER_A_R22_CENTRAL.rvt

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1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

	PARTITION TYPE INDICATOR
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	FURNITURE, FIXTURE & EQUIPMENT INDICATOR
	SIGNAGE INDICATOR
	DOOR OPENING IDENTIFIER
	PLAN NORTH & TRUE NORTH INDICATOR

SHEET KEYNOTES

LIONAKIS

2025 Nineteenth Street
Sacramento, CA 95818
P 916.558.1900
www.lionakis.com

CONSULTANT

SEAL



PROJECT

TENANT IMPROVEMENT

60 NORTH WASHINGTON STREET
SONORA, CA 95370

CLIENT

COUNTY OF TUOLUMNE

?CLIENT ADDRESS?

ISSUED

MARK	DATE	DESCRIPTION
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MANAGEMENT

LIONAKIS PROJECT NO. 21077.01

CLIENT PROJECT NO. 100.00.007

AGENCY

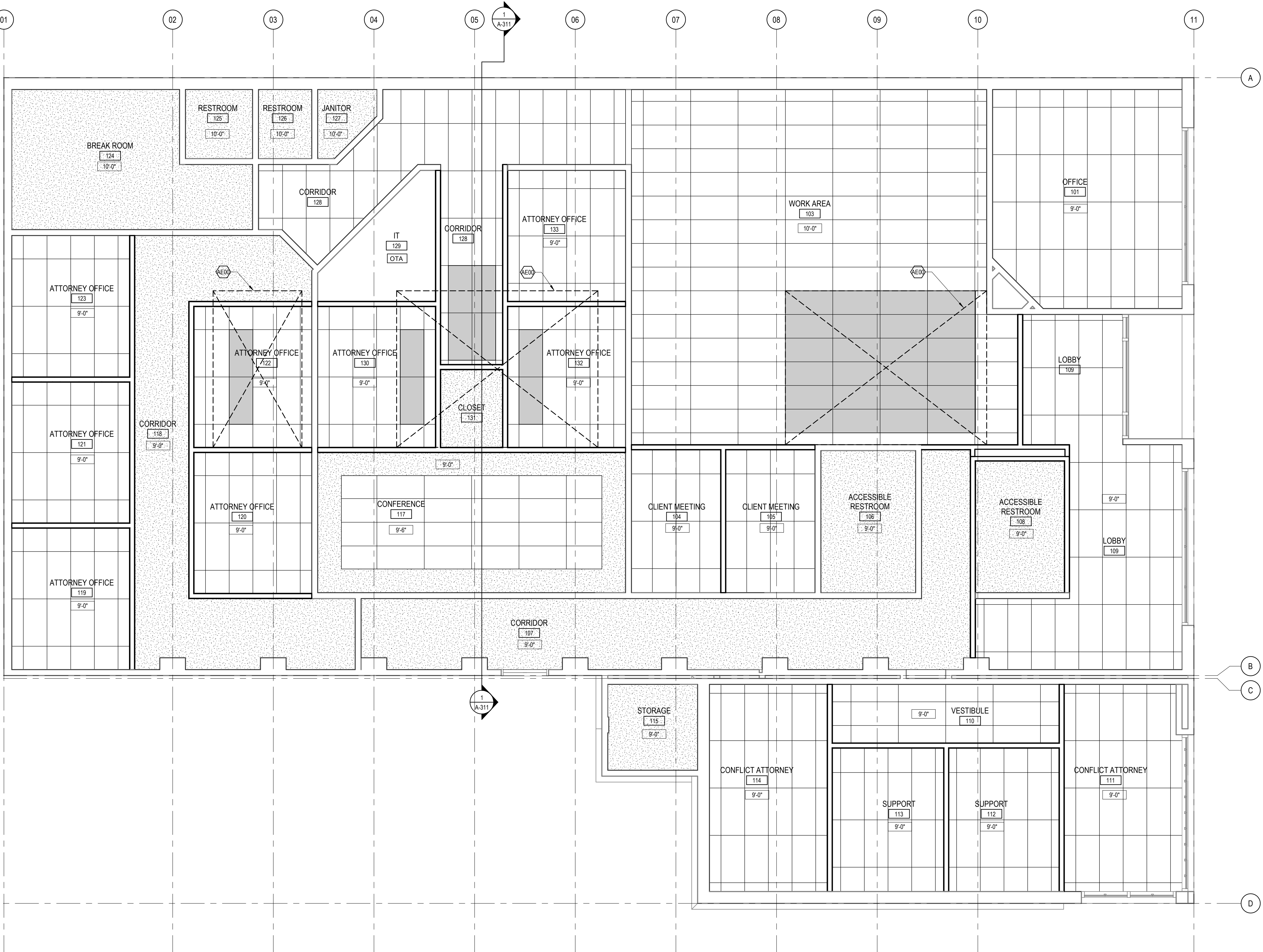
TITLE

FLOOR PLAN

SHEET

A-111

0 1/4" 1/2" 1" 2" 3" 4" 5" 6" 7" 8" 9" 10" 11" 12" 13" 14" 15" 16" 17" 18" 19" 20" 21" 22" 23" 24" 25" 26" 27" 28" 29" 30" 31" 32" 33" 34" 35" 36" 37" 38" 39" 40" 41" 42" 43" 44" 45" 46" 47" 48" 49" 50" 51" 52" 53" 54" 55" 56" 57" 58" 59" 60" 61" 62" 63" 64" 65" 66" 67" 68" 69" 70" 71" 72" 73" 74" 75" 76" 77" 78" 79" 80" 81" 82" 83" 84" 85" 86" 87" 88" 89" 90" 91" 92" 93" 94" 95" 96" 97" 98" 99" 100" 101" 102" 103" 104" 105" 106" 107" 108" 109" 110" 111" 112" 113" 114" 115" 116" 117" 118" 119" 120" 121" 122" 123" 124" 125" 126" 127" 128" 129" 130" 131" 132" 133" 134" 135" 136" 137" 138" 139" 140" 141" 142" 143" 144" 145" 146" 147" 148" 149" 150" 151" 152" 153" 154" 155" 156" 157" 158" 159" 160" 161" 162" 163" 164" 165" 166" 167" 168" 169" 170" 171" 172" 173" 174" 175" 176" 177" 178" 179" 180" 181" 182" 183" 184" 185" 186" 187" 188" 189" 190" 191" 192" 193" 194" 195" 196" 197" 198" 199" 200" 201" 202" 203" 204" 205" 206" 207" 208" 209" 210" 211" 212" 213" 214" 215" 216" 217" 218" 219" 220" 221" 222" 223" 224" 225" 226" 227" 228" 229" 230" 231" 232" 233" 234" 235" 236" 237" 238" 239" 240" 241" 242" 243" 244" 245" 246" 247" 248" 249" 250" 251" 252" 253" 254" 255" 256" 257" 258" 259" 260" 261" 262" 263" 264" 265" 266" 267" 268" 269" 270" 271" 272" 273" 274" 275" 276" 277" 278" 279" 280" 281" 282" 283" 284" 285" 286" 287" 288" 289" 290" 291" 292" 293" 294" 295" 296" 297" 298" 299" 300" 301" 302" 303" 304" 305" 306" 307" 308" 309" 310" 311" 312" 313" 314" 315" 316" 317" 318" 319" 320" 321" 322" 323" 324" 325" 326" 327" 328" 329" 330" 331" 332" 333" 334" 335" 336" 337" 338" 339" 340" 341" 342" 343" 344" 345" 346" 347" 348" 349" 350" 351" 352" 353" 354" 355" 356" 357" 358" 359" 360" 361" 362" 363" 364" 365" 366" 367" 368" 369" 370" 371" 372" 373" 374" 375" 376" 377" 378" 379" 380" 381" 382" 383" 384" 385" 386" 387" 388" 389" 390" 391" 392" 393" 394" 395" 396" 397" 398" 399" 400" 401" 402" 403" 404" 405" 406" 407" 408" 409" 410" 411" 412" 413" 414" 415" 416" 417" 418" 419" 420" 421" 422" 423" 424" 425" 426" 427" 428" 429" 430" 431" 432" 433" 434" 435" 436" 437" 438" 439" 440" 441" 442" 443" 444" 445" 446" 447" 448" 449" 450" 451" 452" 453" 454" 455" 456" 457" 458" 459" 460" 461" 462" 463" 464" 465" 466" 467" 468" 469" 470" 471" 472" 473" 474" 475" 476" 477" 478" 479" 480" 481" 482" 483" 484" 485" 486" 487" 488" 489" 490" 491" 492" 493" 494" 495" 496" 497" 498" 499" 500" 501" 502" 503" 504" 505" 506" 507" 508" 509" 510" 511" 512" 513" 514" 515" 516" 517" 518" 519" 520" 521" 522" 523" 524" 525" 526" 527" 528" 529" 530" 531" 532" 533" 534" 535" 536" 537" 538" 539" 540" 541" 542" 543" 544" 545" 546" 547" 548" 549" 550" 551" 552" 553" 554" 555" 556" 557" 558" 559" 560" 561" 562" 563" 564" 565" 566" 567" 568" 569" 570" 571" 572" 573" 574" 575" 576" 577" 578" 579" 580" 581" 582" 583" 584" 585" 586" 587" 588" 589" 590" 591" 592" 593" 594" 595" 596" 597" 598" 599" 600" 601" 602" 603" 604" 605" 606" 607" 608" 609" 610" 611" 612" 613" 614" 615" 616" 617" 618" 619" 620" 621" 622" 623" 624" 625" 626" 627" 628" 629" 630" 631" 632" 633" 634" 635" 636" 637" 638" 639" 640" 641" 642" 643" 644" 645" 646" 647" 648" 649" 650" 651" 652" 653" 654" 655" 656" 657" 658" 659" 660" 661" 662" 663" 664" 665" 666" 667" 668" 669" 670" 671" 672" 673" 674" 675" 676" 677" 678" 679" 680" 681" 682" 683" 684" 685" 686" 687" 688" 689" 690" 691" 692" 693" 694" 695" 696" 697" 698" 699" 700" 701" 702" 703" 704" 705" 706" 707" 708" 709" 710" 711" 712" 713" 714" 715" 716" 717" 718" 719" 720" 721" 722" 723" 724" 725" 726" 727" 728" 729" 730" 731" 732" 733" 734" 735" 736" 737" 738" 739" 740" 741" 742" 743" 744" 745" 746" 747" 748" 749" 750" 751" 752" 753" 754" 755" 756" 757" 758" 759" 760" 761" 762" 763" 764" 765" 766" 767" 768" 769" 770" 771" 772" 773" 774" 775" 776" 777" 778" 779" 780" 781" 782" 783" 784" 785" 786" 787" 788" 789" 790" 791" 792" 793" 794" 795" 796" 797" 798" 799" 800" 801" 802" 803" 804" 805" 806" 807" 808" 809" 810" 811" 812" 813" 814" 815" 816" 817" 818" 819" 820" 821" 822" 823" 824" 825" 826" 827" 828" 829" 830" 831" 832" 833" 834" 835" 836" 837" 838" 839" 840" 841" 842" 843" 844" 845" 846" 847" 848" 849" 850" 851" 852" 853" 854" 855" 856" 857" 858" 859" 860" 861" 862" 863" 864" 865" 866" 867" 868" 869" 870" 871" 872" 873" 874" 875" 876" 877" 878" 879" 880" 881" 882" 883" 884" 885" 886" 887" 888" 889" 890" 891" 892" 893" 894" 895" 896" 897" 898" 899" 900" 901" 902" 903" 904" 905" 906" 907" 908" 909" 910" 911" 912" 913" 914" 915" 916" 917" 918" 919" 920" 921" 922" 923" 924" 925" 926" 927" 928" 929" 930" 931" 932" 933" 934" 935" 936" 937" 938" 939" 940" 941" 942" 943" 944" 945" 946" 947" 948" 949" 950" 951" 952" 953" 954" 955" 956" 957" 958" 959" 960" 961" 962" 963" 964" 965" 966" 967" 968" 969" 970" 971" 972" 973" 974" 975" 976" 977" 978" 979" 980" 981" 982" 983" 984" 985" 986" 987" 988" 989" 990" 991" 992" 993" 994" 995" 996" 997" 998" 999" 1000



1 CEILING PLAN - LEVEL 1 - OVERALL
SCALE 1/4" = 1'-0"

- ### GENERAL NOTES
- FOR SYMBOLS AND LEGEND AND ARCHITECTURAL ABBREVIATIONS, SEE SHEET G-001.
 - FOR FINISHES, SEE FINISH SCHEDULE SHEET A-641.
 - ALL DIMENSIONS ARE TO FACE OF STUD, OR CENTERLINE OF COLUMN GRIDS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS AT DOORS, ACCESSORIES AND PLUMBING ARE TO FACE OF FINISH TYP.
 - PROVIDE ACCESS DOORS AND EXTENSION RODS WHERE INDICATED ON THESE PLANS AND WHERE REQUIRED FOR MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, FIRE ALARM AND LOW VOLTAGE (TELE/ DATA AND SECURITY DEVICES).
 - CEILING ACCESS DOORS SHALL BE 16" X 16" MINIMUM AND 24" X 48" MAXIMUM UNLESS OTHERWISE NOTED. WHERE AREAS ABOVE CEILING ARE OTHERWISE INACCESSIBLE, AT LEAST ONE ACCESS DOOR SHALL BE 24" X 24" MINIMUM. CEILING ACCESS DOOR FOR ATTIC ACCESS SHALL BE 30" X 24" AND LOCATIONS AS INDICATED ON DRAWINGS. CEILING ACCESS DOOR FOR FIRE/SMOKE DAMPER, CABLE TRAY SHALL BE 24" X 24". PROVIDE STAINLESS STEEL ACCESS DOOR IN WET AREAS. SEE DETAIL, _____ FOR CEILING ACCESS DOORS IN GYP BOARD CEILING. CEILING ACCESS DOORS ARE NOT REQUIRED IN ROOMS WITH SUSPENDED ACOUSTICAL CEILING.
 - LOCATIONS OF CEILING INSTALLED ITEMS SHOWN ON OTHER DRAWINGS ARE SCHEMATIC. THE DRAWING TAKES PRECEDENCE FOR LOCATIONS OF THOSE ITEMS SHOWN AND MUST BE COORDINATED WITH THOSE ITEMS NOT SHOWN.
 - ALL CEILING INSTALLED ITEMS ARE NOT NECESSARILY SHOWN ON THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR MUST COORDINATE WITH ALL TRADES FOR EXACT QUANTITY AND LOCATION.
 - REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHTING FIXTURE TYPES AND DEVICES. A LIGHT FIXTURE OR A GROUPING OF LIGHT FIXTURES SHALL BE CENTERED IN THE ROOM, UNLESS OTHERWISE NOTED.
 - REFER TO MECHANICAL DRAWINGS FOR DIFFUSERS AND ITEMS NOT SHOWN ON ARCHITECTURAL CEILING PLANS.
 - ALL ITEMS INSTALLED IN ACOUSTICAL CEILINGS SHALL BE INSTALLED IN THE CENTER OF THE TILE. IF MORE THAN ONE ITEM FALLS WITHIN A TILE, THE ITEM SHALL BE LOCATED WITHIN THE QUARTER-POINTS OF THE TILE. A TILE SHALL BE LIMITED TO THREE ITEMS.

LEGEND REFLECTED CEILING

	5/8" GYPSUM BOARD O/ MTL STUDS		2" X 4" ACOUSTICAL CEILING TILE
	2" X 4" ACOUSTICAL CEILING GRID W/ TRANSLUCENT PANELS		CEILING TAG (HEIGHT ABOVE FINISHED FLOOR)
	CEILING TAG (HEIGHT ABOVE FINISHED FLOOR)		OPEN TO ABOVE
	ROOF ACCESS HATCH		CEILING ACCESS PANEL
	MECHANICAL FIXTURES, SEE MECHANICAL DRAWINGS		CEILING ACCESS DOOR, SIZE VARIES, SEE GENERAL NOTES
	LIGHT FIXTURES, SEE ELECT DRAWINGS		

SHEET KEYNOTES

AE00 EXISTING CLERESTORY LIGHT WELL TO REMAIN

LIONAKIS

2025 Nineteenth Street
Sacramento, CA 95818
P 916.558.1800
www.lionakis.com

CONSULTANT

SEAL

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROJECT

TENANT IMPROVEMENT

60 NORTH WASHINGTON STREET
SONORA, CA 95370

CLIENT

COUNTY OF TUOLUMNE

?CLIENT ADDRESS?

ISSUED

MARK	DATE	DESCRIPTION
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MANAGEMENT

LIONAKIS PROJECT NO. 21077.01

CLIENT PROJECT NO. 700.00.007

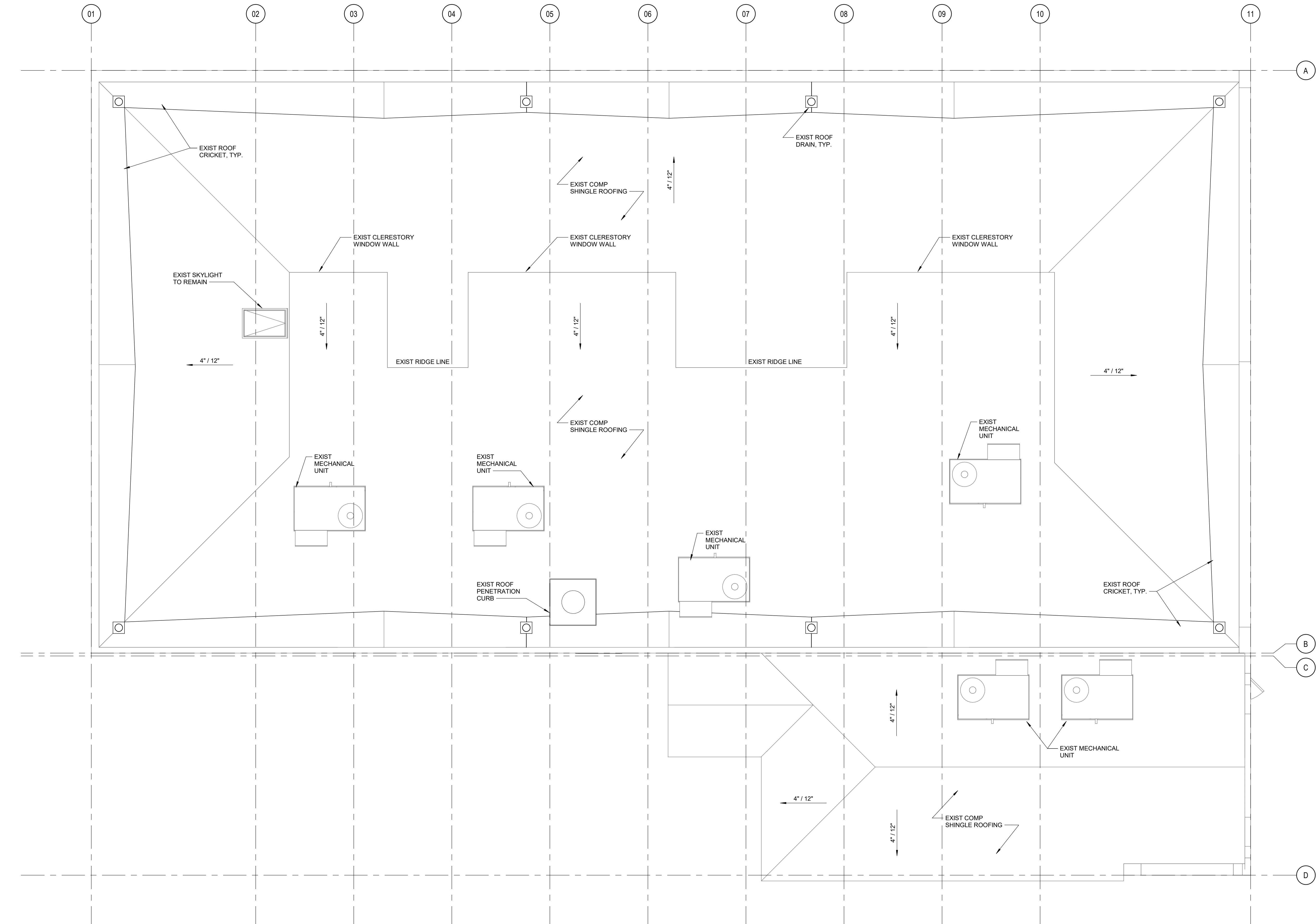
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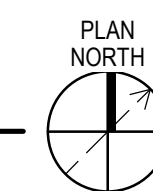
CEILING PLAN

SHEET

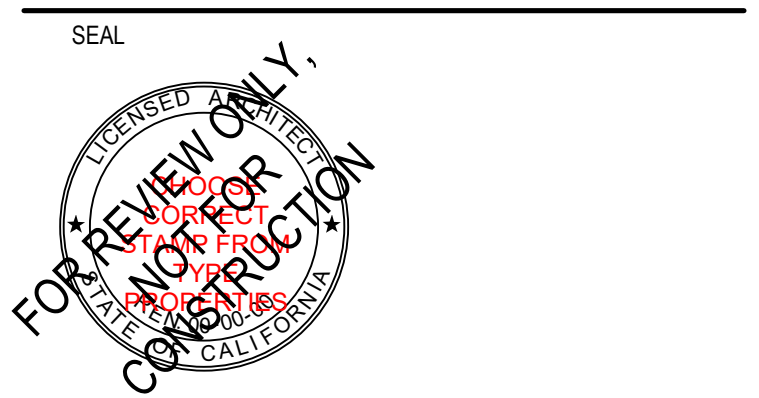
A-121



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



SHEET KEYNOTES



PROJECT
TENANT IMPROVEMENT

60 NORTH WASHINGTON STREET
SONORA, CA 95370

CLIENT
COUNTY OF TUOLUMNE
?CLIENT ADDRESS?

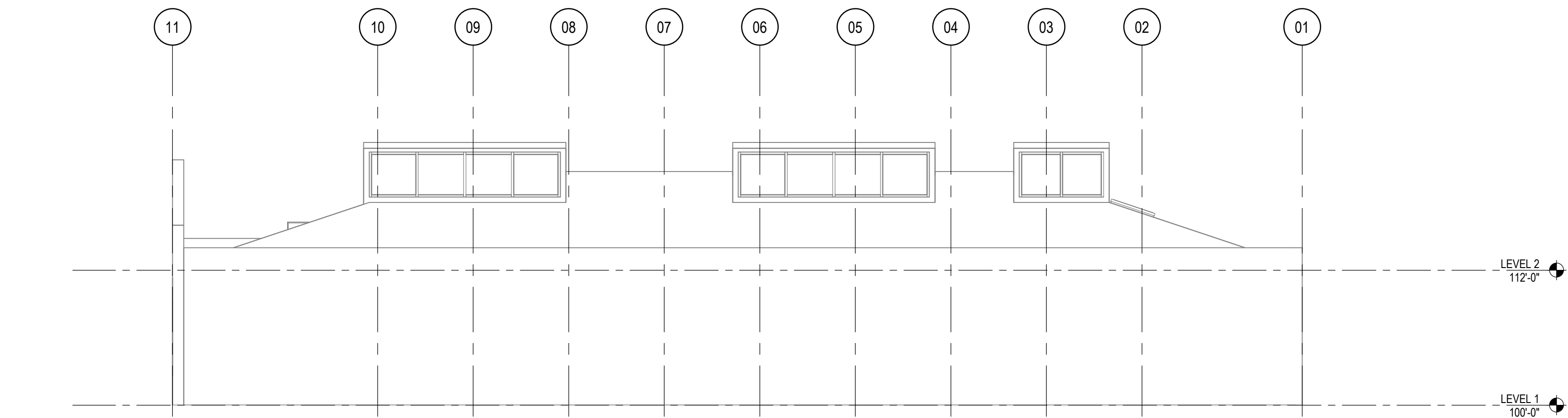
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MARK	DATE	DESCRIPTION

MANAGEMENT
LIONAKIS PROJECT NO. 21077.01
CLIENT PROJECT NO. 100.00.007

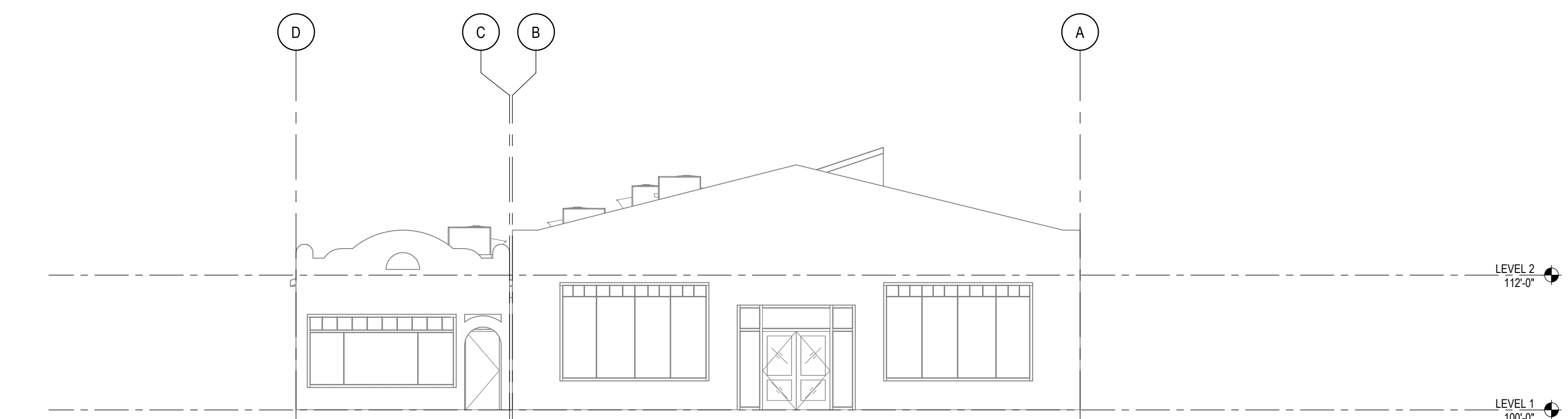
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ROOF PLAN

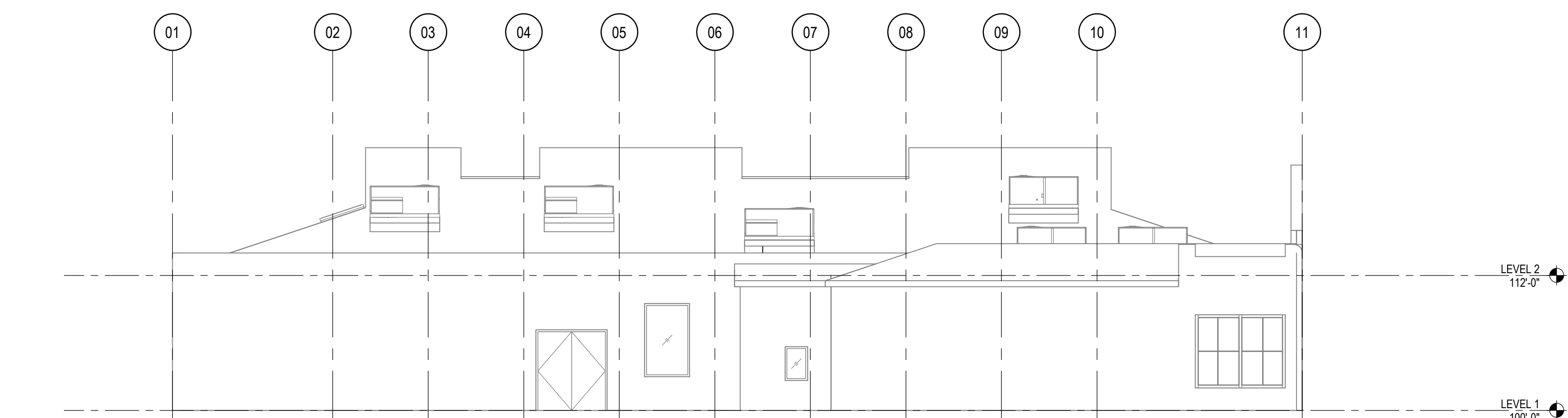
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A-131



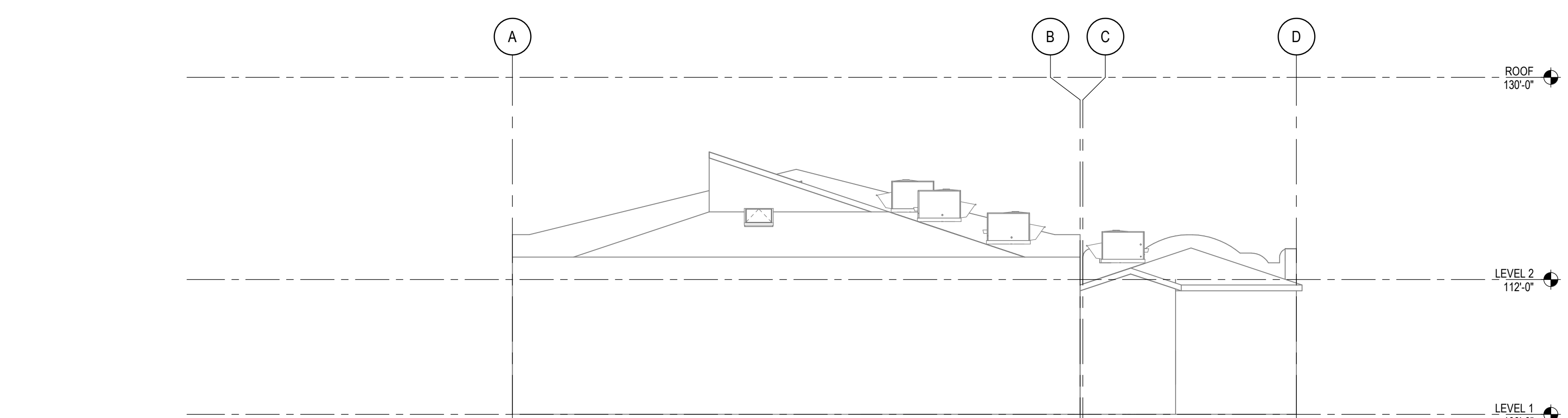
1 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

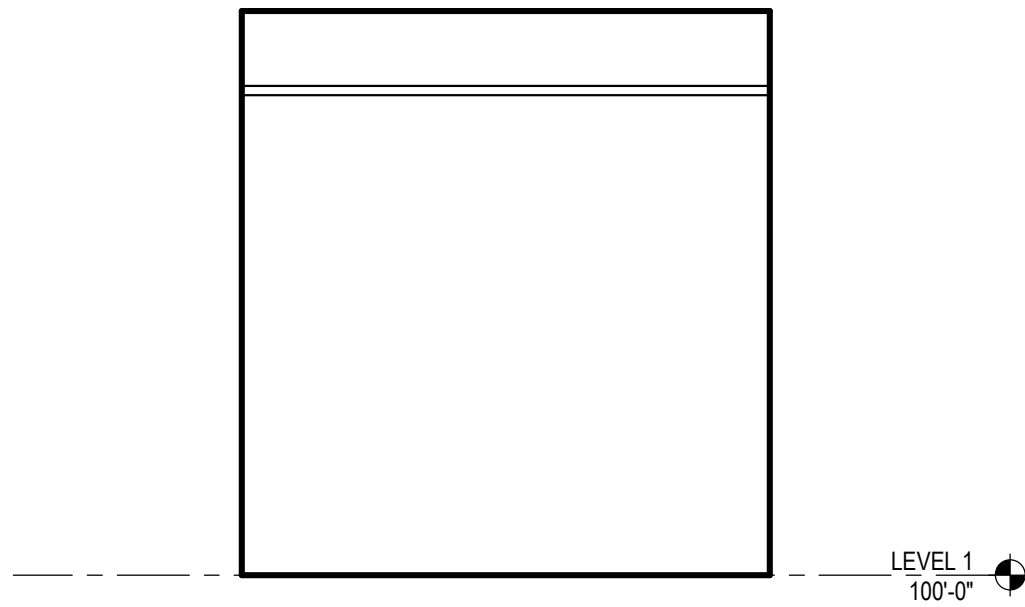


4 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

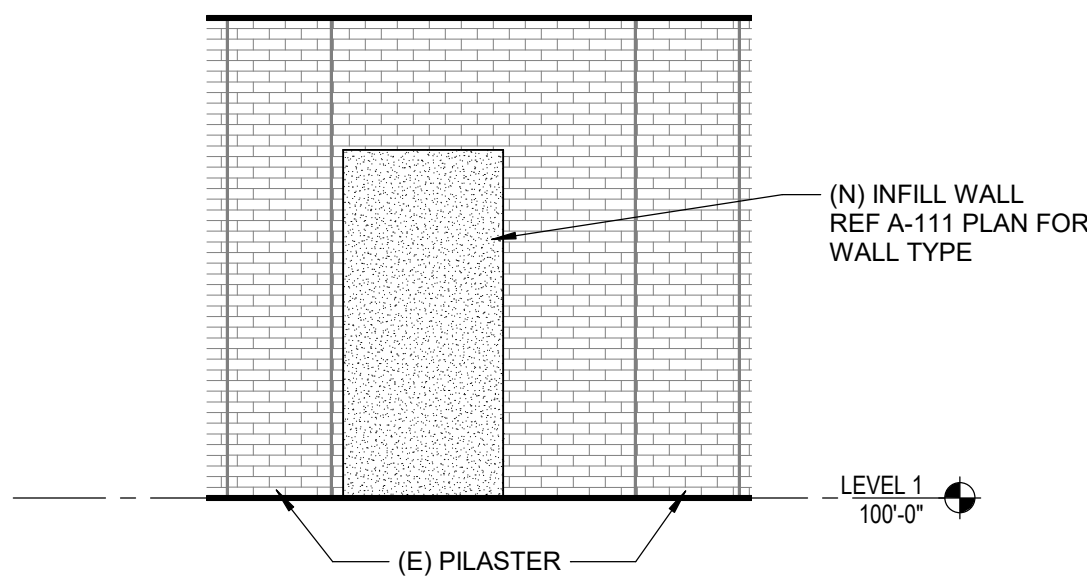


ISSUED		
MARK	DATE	DESCRIPTION

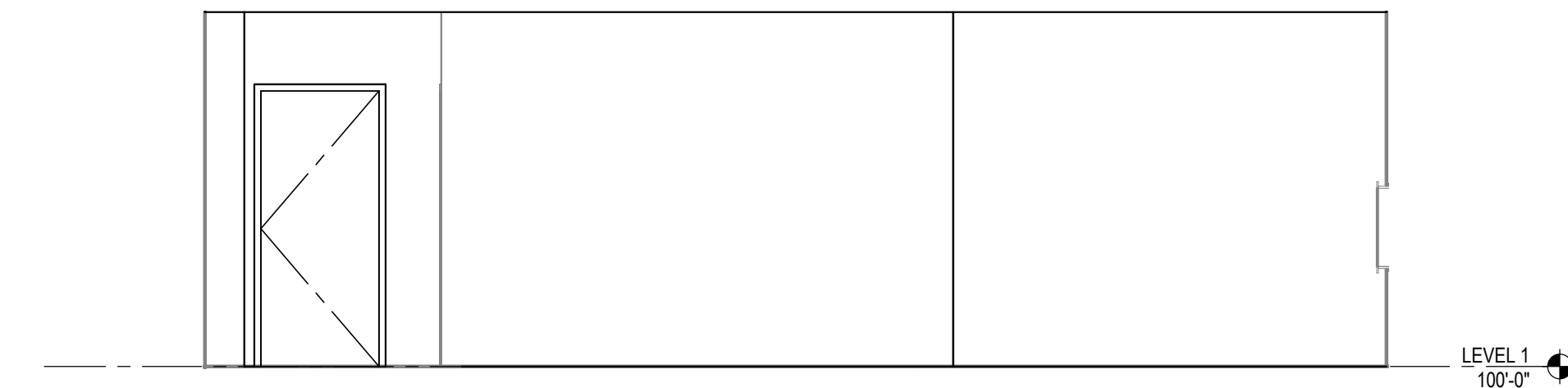
MANAGEMENT	
LIONAKIS PROJECT NO.	21077.01
CLIENT PROJECT NO.	100.00.007



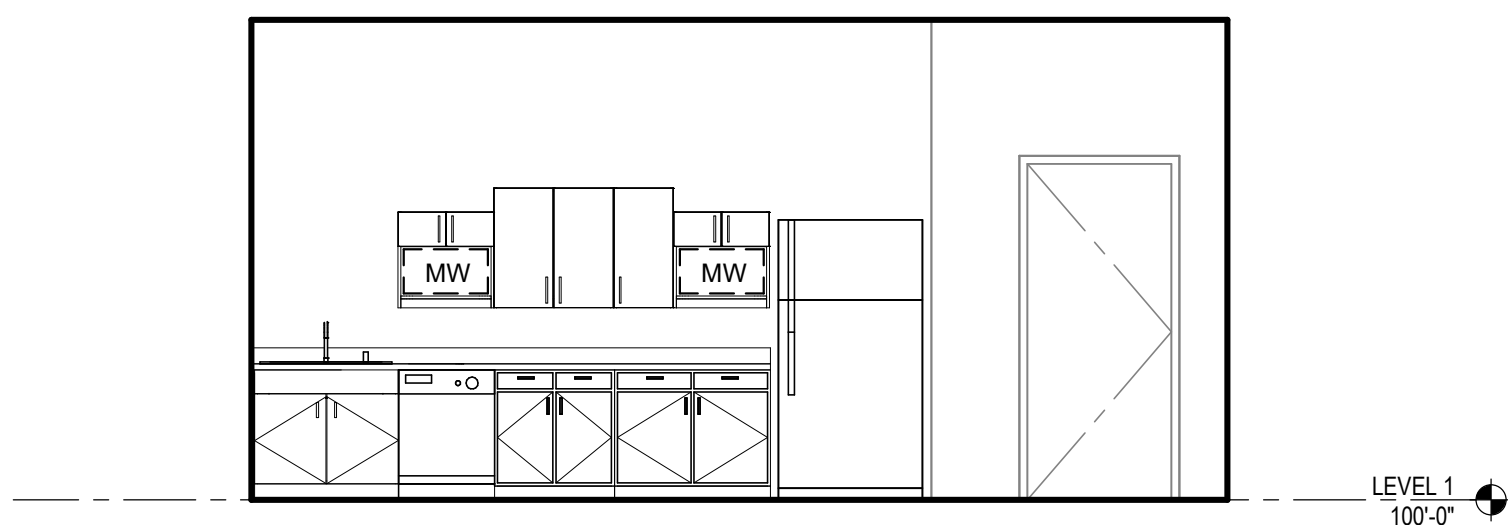
1 103 WORK AREA - EAST
SCALE: 1/4" = 1'-0"



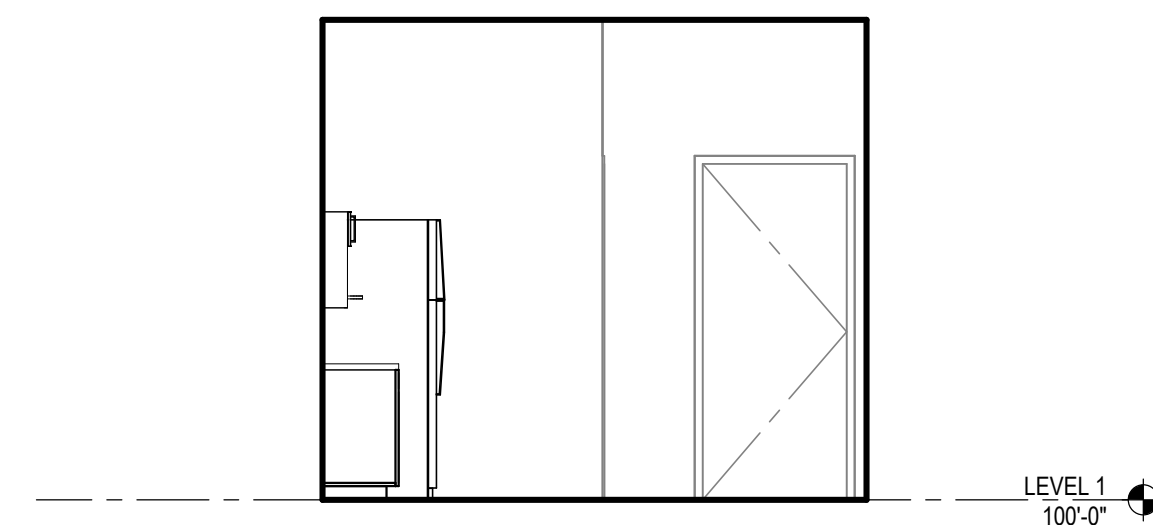
5 107 CORRIDOR DOOR INFILL - SOUTH
SCALE: 1/4" = 1'-0"



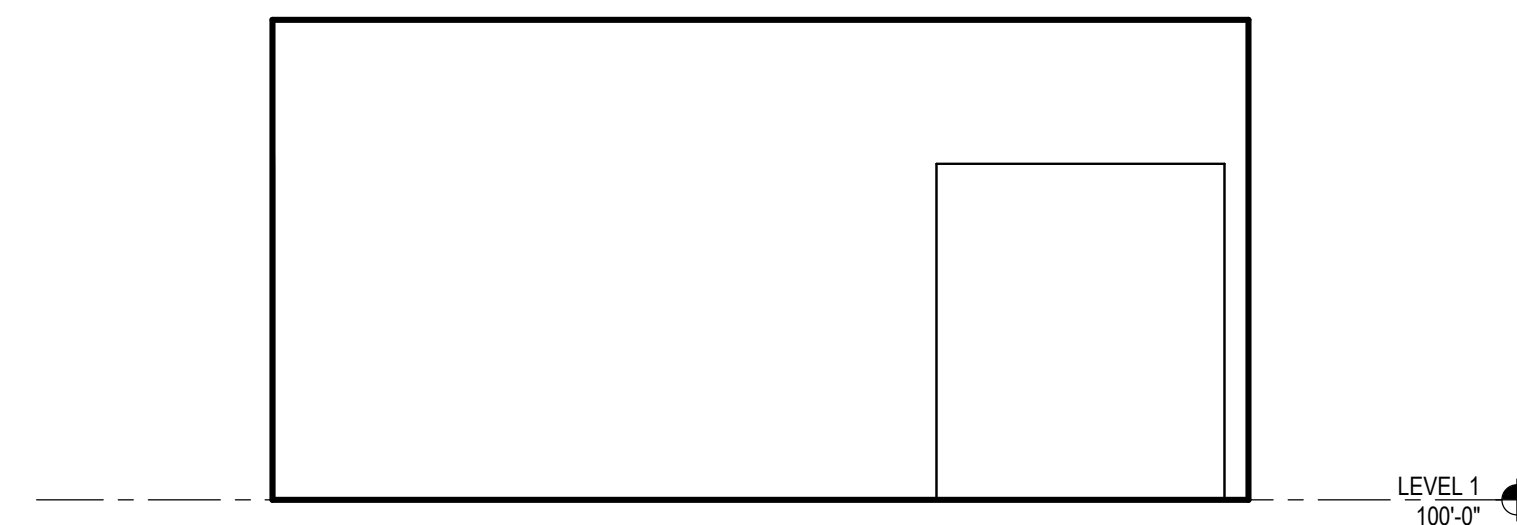
9 109 LOBBY - WEST
SCALE: 1/4" = 1'-0"



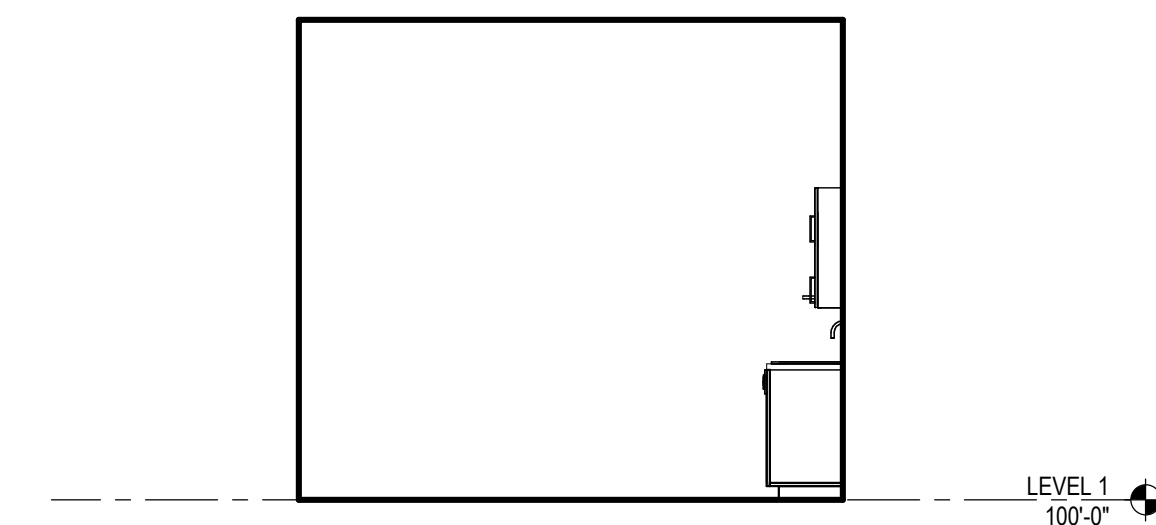
10 124 BREAK ROOM - NORTH
SCALE: 1/4" = 1'-0"



11 124 BREAK ROOM - EAST
SCALE: 1/4" = 1'-0"



12 124 BREAK ROOM - SOUTH
SCALE: 1/4" = 1'-0"

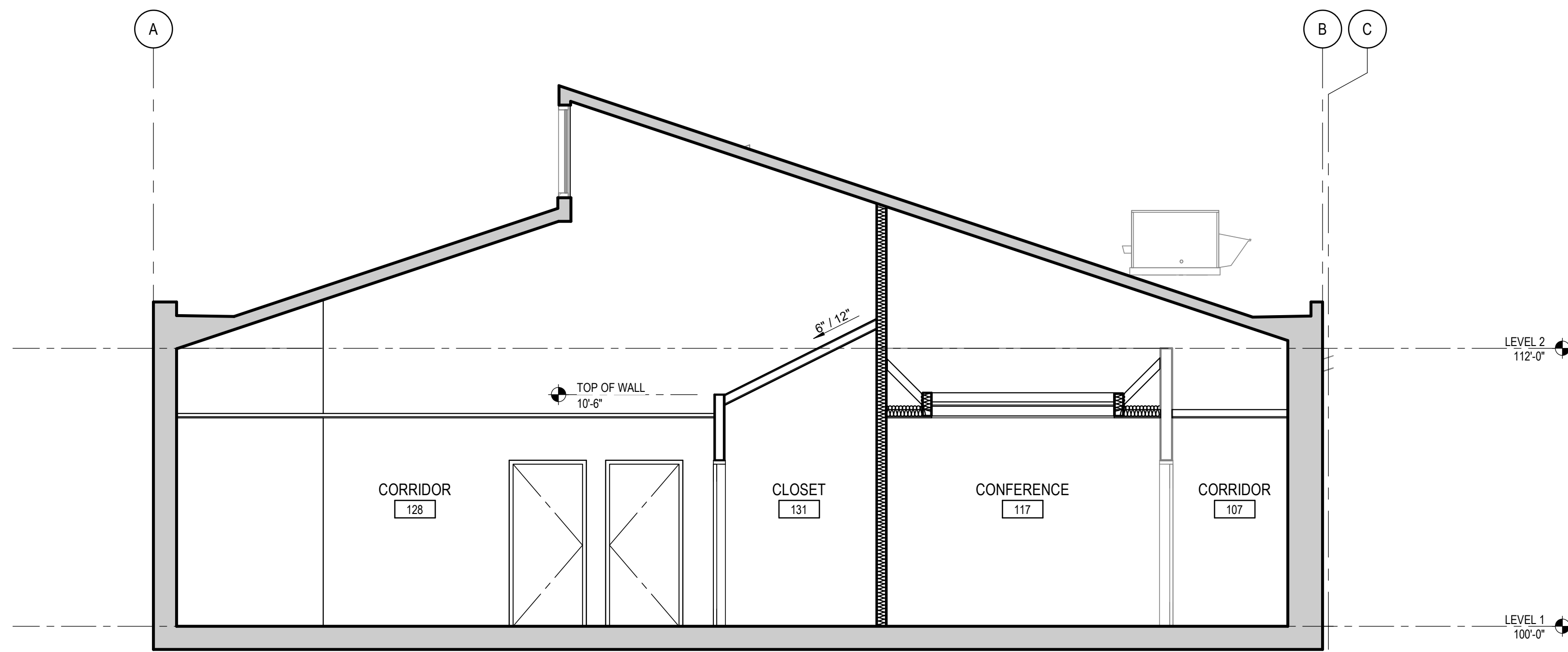


13 124 BREAK ROOM - WEST
SCALE: 1/4" = 1'-0"



MARK	DATE	DESCRIPTION
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CLIENT PROJECT NO.	100.00.007



1 BUILDING SECTION 1
SCALE: 1/4" = 1'-0"



PROJECT
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SONORA, CA 95370

CLIENT
COUNTY OF TUOLUMNE
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MANAGEMENT

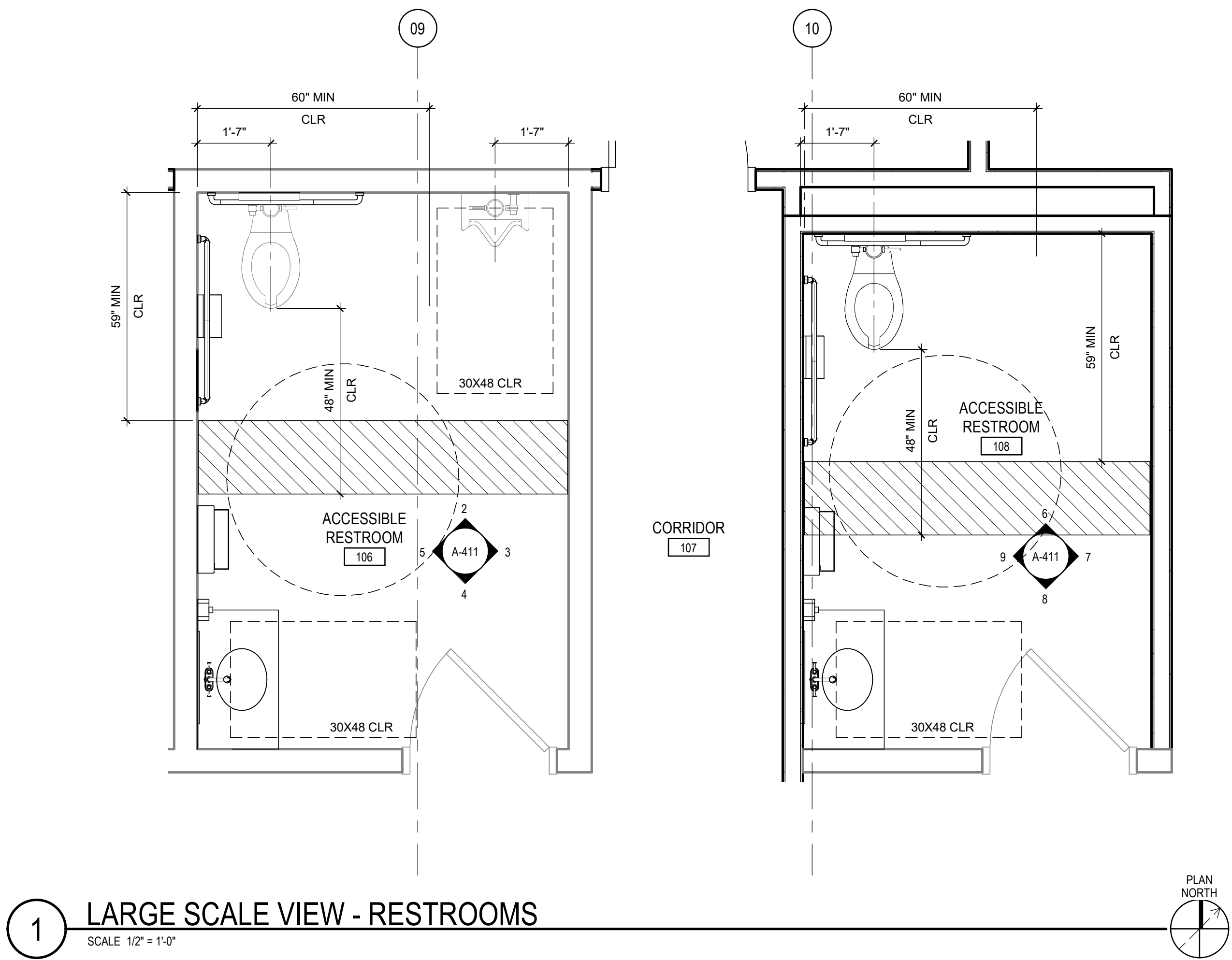
LIONAKIS PROJECT NO: 21077.01
CLIENT PROJECT NO: 100.00.007

AGENCY

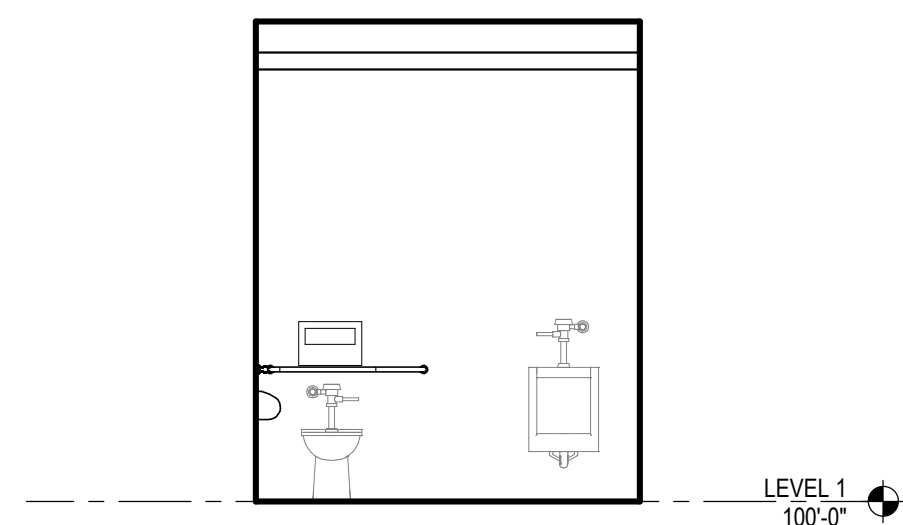
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SECTIONS - BUILDING

SHEET

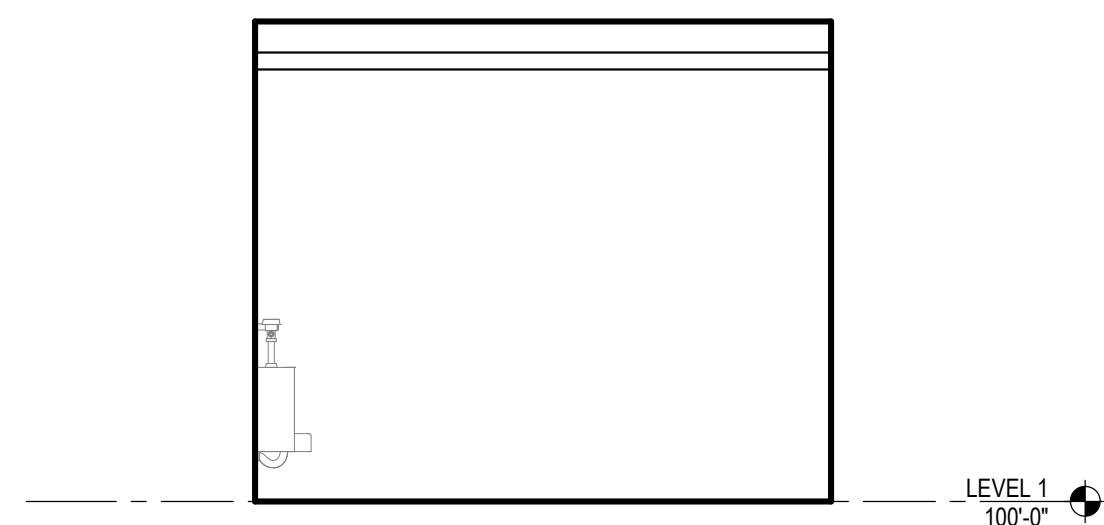
A-311



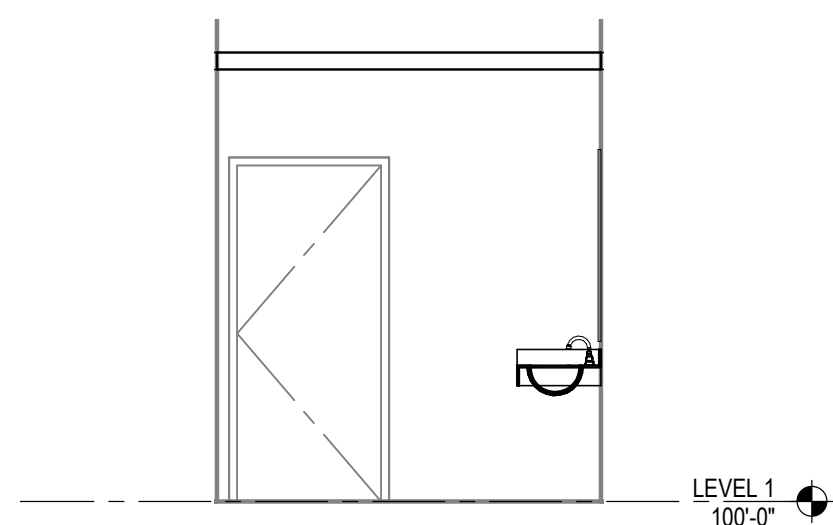
1 LARGE SCALE VIEW - RESTROOMS
SCALE 1/2" = 1'-0"



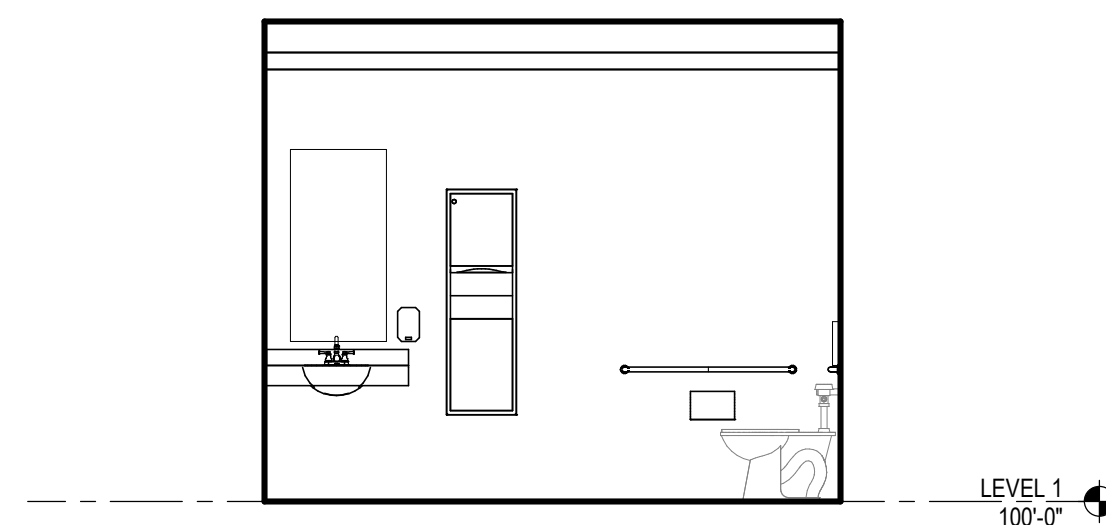
2 106 ACCESSIBLE RESTROOM - NORTH
SCALE 1/4" = 1'-0"



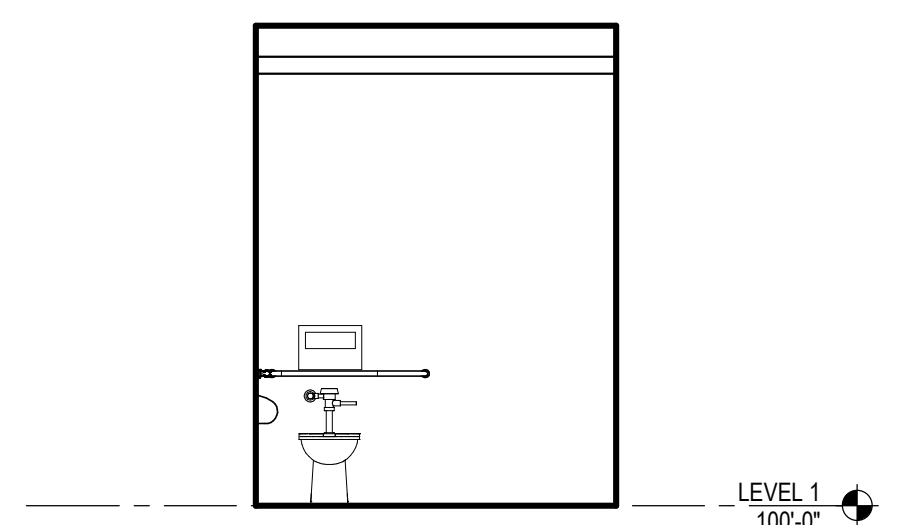
3 106 ACCESSIBLE RESTROOM - EAST
SCALE 1/4" = 1'-0"



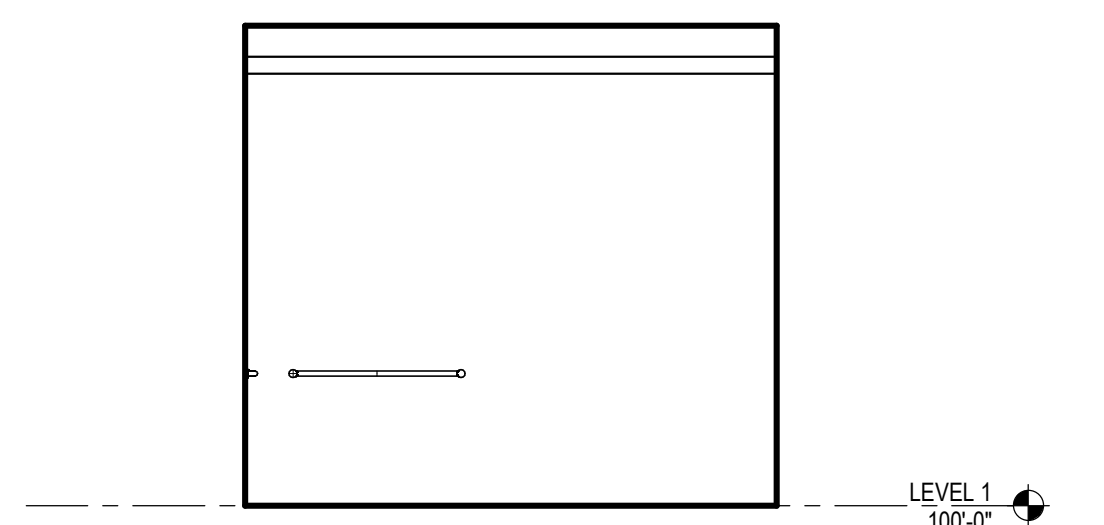
4 106 ACCESSIBLE RESTROOM - SOUTH
SCALE 1/4" = 1'-0"



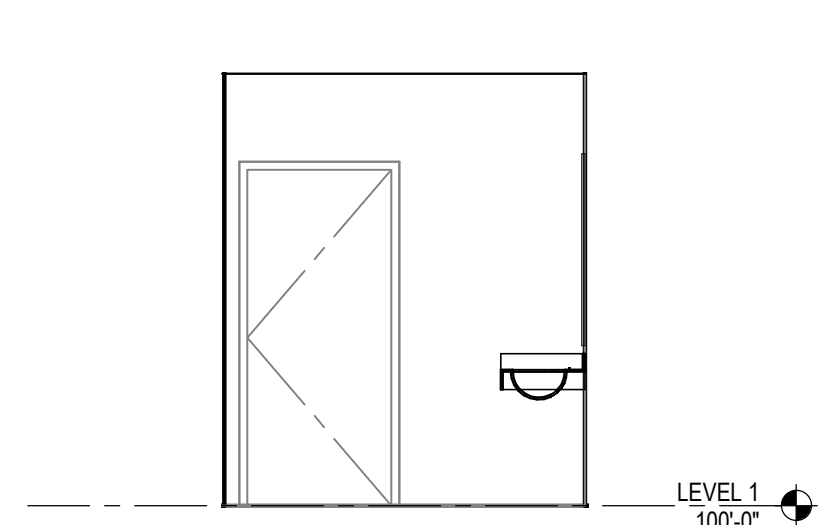
5 106 ACCESSIBLE RESTROOM - WEST
SCALE 1/4" = 1'-0"



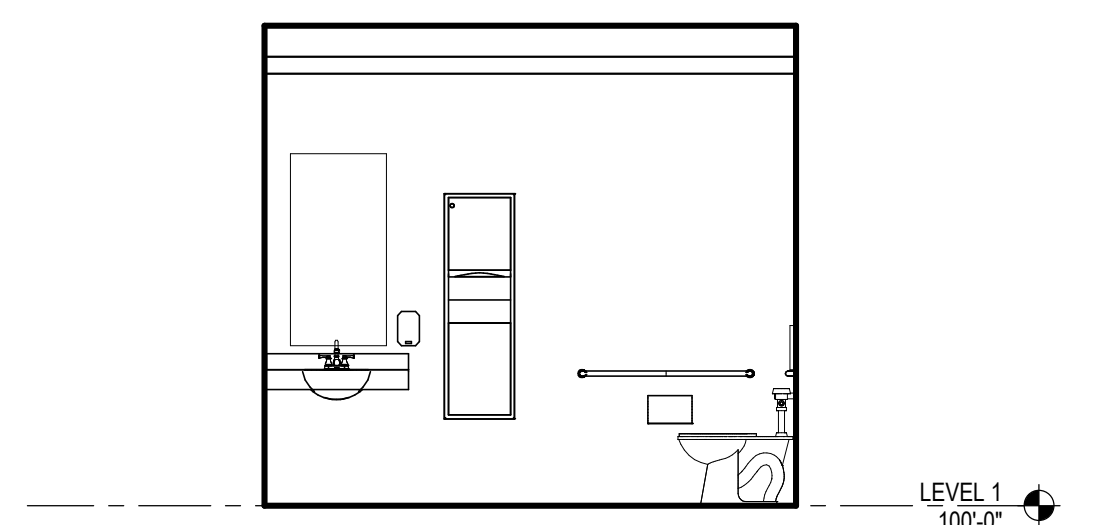
6 108 ACCESSIBLE RESTROOM - NORTH
SCALE 1/4" = 1'-0"



7 108 ACCESSIBLE RESTROOM - EAST
SCALE 1/4" = 1'-0"



8 108 ACCESSIBLE RESTROOM - SOUTH
SCALE 1/4" = 1'-0"



9 108 ACCESSIBLE RESTROOM - WEST
SCALE 1/4" = 1'-0"

SHEET KEYNOTES



MARK	DATE	DESCRIPTION
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LIONAKIS PROJECT NO.	21077.01
CLIENT PROJECT NO.	100.00.007

0 1/4" = 1' 0" 1/2" IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT - SCALE ACCORDINGLY 7/27/2023 2:46:21 PM C:\Users\jackson\Documents\Tuolumne County - Washington Street\11_02_jackson\KPSB.rvt

POWER DISTRIBUTION	
	SWITCHGEAR, SWITCHBOARD, DISTRIBUTION BOARD, SUBSTATION OR MOTOR CONTROL CENTER, FLOOR MOUNTED ON CONCRETE HOUSEKEEPING PAD WHERE INDICATED ON DRAWINGS. DOUBLE LINE INDICATES FRONT FACE OF GEAR.
	DISTRIBUTION BOARD, SURFACE MOUNTED ON WALL.
	PANELBOARD, 277/480V, SURFACE MOUNTED ON WALL.
	PANELBOARD, 277/480V, FLUSH MOUNTED IN WALL.
	PANELBOARD, 120/208V, SURFACE MOUNTED ON WALL.
	PANELBOARD, 120/208V, FLUSH MOUNTED IN WALL.
	DRY-TYPE STEP-DOWN TRANSFORMER, FLOOR MOUNTED 480-120/208V 3Ø, UON. DOUBLE LINE INDICATES FRONT FACE OF TRANSFORMER.
	ELECTRIC MOTOR, NEC. MAKE POWER CONNECTIONS ONLY AS NOTED ON PLANS.
	EXHAUST FAN MOTOR, SINGLE PHASE, NEC. MAKE POWER CONNECTIONS TO INCLUDE JUNCTION BOX MOUNTED, FRACTIONAL HORSEPOWER MANUAL MOTOR STARTER WITH INTEGRAL DISCONNECT ADJACENT TO VAV BOX WITH 2 # 12 CONDUCTORS PLUS GROUND IN 1/2" FLEXIBLE CONDUIT BETWEEN STARTER AND MOTOR.
	INDOOR FAN POWERED VAV BOX MOTOR, SINGLE PHASE, NEC. MAKE POWER CONNECTIONS TO INCLUDE JUNCTION BOX MOUNTED, FRACTIONAL HORSEPOWER MANUAL MOTOR STARTER WITH INTEGRAL DISCONNECT ADJACENT TO VAV BOX WITH 2 # 12 CONDUCTORS PLUS GROUND IN 1/2" FLEXIBLE CONDUIT BETWEEN STARTER AND MOTOR.
	MOTOR OPERATED FIRE/SMOKE DAMPER "FSD", NEC. SYMBOL DENOTES INTERFACE FOR POWER CONNECTIONS WITH LOCAL DISCONNECT MEANS. ADJACENT NUMBER INDICATES QUANTITY OF ACTUATORS PER FSD. EACH REQUIRING A POWER CONNECTION, IF MORE THAN 1. FOR FIRE ALARM REQUIREMENTS AT FSD, REFER TO FIRE ALARM SYMBOLS.
	COMBINATION EXHAUST FAN AND DOWNLIGHT, CEILING MOUNTED. FAN AND LIGHT SHALL BE CONTROLLED SEPARATELY.
	PULLBOX OR HANDHOLE, SIZE AND TYPE AS NOTED ON PLANS.
	SAFETY DISCONNECT SWITCH, 3 POLE, UON. ADJACENT NUMBER INDICATES FUSE SIZE WHEN APPLICABLE. LABELING CONVENTION AS FOLLOWS: A: 30A, NON-FUSED AF: 30A, FUSED B: 60A, NON-FUSED BF: 60A, FUSED C: 100A, NON-FUSED CF: 100A, FUSED D: 200A, NON-FUSED DF: 200A, FUSED E: 400A, NON-FUSED EF: 400A, FUSED F: 600A, NON-FUSED FF: 600A, FUSED G: 800A, NON-FUSED GF: 800A, FUSED
	MAGNETIC MOTOR STARTER WITH INTEGRAL OVERCURRENT PROTECTION. ADJACENT NUMBER INDICATES NEMA SIZE OF STARTER. "HANDLE" DENOTES INTEGRAL DISCONNECT.
	VARIABLE FREQUENCY DRIVE FURNISHED UNDER ANOTHER DIVISION. INSTALL VFD AND PROVIDE POWER SERVICE CONNECTION UNDER THIS DIVISION. "HANDLE" DENOTES INTEGRAL DISCONNECT.
	ELECTRONICALLY COMMUTATED MOTOR CONTROLLER FURNISHED UNDER ANOTHER DIVISION. INSTALL ECM AND PROVIDE POWER SERVICE CONNECTION UNDER THIS DIVISION. "HANDLE" DENOTES INTEGRAL DISCONNECT.
	PACKAGE MOTOR CONTROLLER OR STARTER FURNISHED AND INSTALLED UNDER ANOTHER DIVISION WITH EQUIPMENT CONTROLLED. PROVIDE SINGLE-POINT POWER SERVICE CONNECTION UNDER THIS DIVISION AS NOTED ON PLANS.
	DRIVEN GROUND ROD.
	DRIVEN GROUND ROD IN GROUND WELL WITH COVER.
	ELECTRICAL VEHICLE CHARGING STATION, WALL MOUNTED.
	ELECTRICAL VEHICLE CHARGING STATION, PEDESTAL MOUNTED.
	CABLE TO BUS TERMINATION LUGS.
	BOLTED PRESSURE OR HIGH PRESSURE CONTACT OR FUSED SWITCHES.
	GROUP MOUNTED MOLDED CASE CIRCUIT BREAKER.
	INDIVIDUALLY FIXED MOUNTED INSULATED-CASE OR POWER CIRCUIT BREAKER.
	INDIVIDUALLY DRAW-OUT MOUNTED INSULATED-CASE OR POWER CIRCUIT BREAKER.
	MEDIUM-VOLTAGE, INDIVIDUALLY DRAW-OUT MOUNTED VACUUM CIRCUIT BREAKER.
	MEDIUM-VOLTAGE LOAD INTERRUPTER SWITCH, FUSED TYPE.
	MEDIUM-VOLTAGE LOAD INTERRUPTER SWITCH, NON-FUSED TYPE.
	GROUND FAULT RELAY INTEGRAL WITH CIRCUIT BREAKER.
	ELECTRICALLY OPERATED CIRCUIT BREAKER, INTEGRAL.
	SHUNT-TRIP INTEGRAL WITH OVERCURRENT PROTECTION DEVICES.
	KIRK-KEY INTERLOCK INTEGRAL WITH OVERCURRENT PROTECTION DEVICES. ADJACENT NUMBER CORRESPONDS WITH DEVICE INTERLOCK.
	PRIVATE METER, MOUNTED INTEGRAL WITH OVERCURRENT PROTECTION OR SEPARATE WITHIN SWITCHGEAR.
	UTILITY METER, MOUNTED IN UTILITY METER SECTION OF SWITCHGEAR OR SWITCHBOARDS.
	PRIVATE METER, MOUNTED IN SEPARATE ENCLOSURE FROM SWITCHGEAR OR SWITCHBOARDS.
	GROUND FAULT RELAY WITH SHUNT TRIP.
	GROUND FAULT ALARM, NO SHUNT TRIP.
	TRANSFORMER.
	CONNECTION TO GROUND.
	CURRENT TRANSFORMERS.
	POTENTIAL TRANSFORMERS.
	AUTOMATIC OR MANUAL TRANSFER SWITCH.
	AUTOMATIC TRANSFER & BY-PASS ISOLATION SWITCH.
	EMERGENCY GENERATOR.
	BATTERIES.
	NEUTRAL SERVICE DISCONNECT LINK.
	SURGE PROTECTION DEVICE, "SPD".
	CONTROL CONTACTOR.
	NORMALLY OPEN CONTACT.
	NORMALLY CLOSED CONTACT.
	DIGITAL METERING UNIT.
	GROUND BUS AS SHOWN ON SINGLE LINE DIAGRAMS.
	GROUND BUS AS SHOWN ON PLAN VIEWS.
	NEUTRAL BUS.
	CONCRETE VAULT, IN-GRADE, FOR EXTERIOR APPLICATIONS. SIZE AND TYPE AS NOTED ON THE PLANS.
	CONCRETE MANHOLE, IN-GRADE, FOR EXTERIOR APPLICATIONS. SIZE AND TYPE AS NOTED ON THE PLANS.
LINESTYLES	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED (R) OR RELOCATED (RR)
	NEW CONSTRUCTION
	FUTURE CONSTRUCTION

WIRING DEVICES	
	JUNCTION BOX, WALL MOUNTED, +18" UON.
	JUNCTION BOX, MOUNTED IN FLUSH FLOOR BOX.
	JUNCTION BOX, MOUNTED FLUSH IN CEILING.
	JUNCTION BOX, SURFACE OR PENDANT MOUNTED TO BOTTOM OF STRUCTURE IN ACCESSIBLE CEILING SPACE OR EXPOSED IN OPEN CEILING AREAS.
	JUNCTION BOX, MOUNTED ON CONDUIT STANCHION FLOOR PENETRATION, +12" UON.
	SINGLE-PLEX CONVENIENCE RECEPTACLE DEVICE, WALL MOUNTED, +18" UON.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, WALL MOUNTED, +18" UON. LETTERING ADJACENT TO THE DEVICE ON THE PLANS INDICATE THE FOLLOWING FOR THOSE RECEPTACLES: A: ARC FAULT CURRENT INTERRUPTER (AFCI) G: GROUND FAULT CURRENT INTERRUPTER (GFCI) IG: ISOLATED GROUND TR: TAMPER RESISTANT U: INTEGRAL USB PORTS WP: WEATHER-RESISTANT, GROUND FAULT CURRENT INTERRUPTER (GFCI) WITH WEATHERPROOF "IN USE" COVER
	DOUBLE DUPLEX CONVENIENCE RECEPTACLE DEVICE, WALL MOUNTED, +18" UON.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, WALL MOUNTED OVER COUNTER, 6" ABOVE BACK SPLASH UON, BUT NO HIGHER THAN ADA REQUIREMENTS.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, SPLIT-WIRED, WALL MOUNTED, +18" UON.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, ON BACK-UP POWER SYSTEM, WALL MOUNTED, +18" UON.
	DUPLEX, OR DOUBLE DUPLEX, CONVENIENCE RECEPTACLE DEVICE, CONTROLLED PER T24, WALL MOUNTED, +18" UON.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, HORIZONTALLY WALL MOUNTED, +18" UON.
	SPECIALTY OUTLET DEVICE, NEMA CONFIGURATION TYPE AS NOTED ON PLANS, WALL MOUNTED, +18" UON.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, MOUNTED IN FLUSH FLOOR BOX.
	DOUBLE DUPLEX CONVENIENCE RECEPTACLE DEVICE, MOUNTED IN FLUSH FLOOR BOX.
	COMBINATION POWER/TELECOMMUNICATION DEVICE, MOUNTED IN FLUSH FLOOR BOX. TYPE AS NOTED ON PLANS OR IN SPECIFICATIONS.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, MOUNTED IN FIRE-RATED POKE-THRU FLOOR FITTING.
	DOUBLE DUPLEX CONVENIENCE RECEPTACLE DEVICE, MOUNTED IN FIRE-RATED POKE-THRU FLOOR FITTING.
	COMBINATION POWER/TELECOMMUNICATION DEVICE, MOUNTED IN FIRE-RATED POKE-THRU FLOOR FITTING. TYPE AS NOTED ON PLANS OR IN SPECIFICATIONS.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, MOUNTED FLUSH IN CEILING.
	DOUBLE DUPLEX CONVENIENCE RECEPTACLE DEVICE, MOUNTED FLUSH IN CEILING.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, MOUNTED ON CONDUIT STANCHION FLOOR PENETRATION, +12" UON.
	DUPLEX CONVENIENCE RECEPTACLE DEVICE, CORD OR REEL HUNG FROM STRUCTURE ABOVE. TYPE AS NOTED ON PLANS.
	ELECTRIFIED FURNITURE PARTITION POWER FEED, WALL MOUNTED, +18" UON. CONSISTS OF A 1 1/16" SQ. X 2 1/8" DEEP JUNCTION BOX, SINGLE GANG RING, AND ELECTRIFIED STEEL COVER PLATE WITH KO TO ACCEPT FURNITURE WHIP.
	ELECTRIFIED FURNITURE PARTITION COMBINATION POWER/TELECOMMUNICATION FEEDS, MOUNTED IN FIRE-RATED POKE-THRU FLOOR FITTING WITH KO'S OR THREADED HUB IN COVER TO ACCEPT FURNITURE WHIPS
	ELECTRIFIED FURNITURE PARTITION POWER FEED, MOUNTED IN FIRE-RATED POKE-THRU FLOOR FITTING WITH KO OR THREADED HUB IN COVER TO ACCEPT FURNITURE WHIP.
	POWER/TELECOMMUNICATION POLE, MOUNTED TO EXTEND FROM FLOOR TO CEILING. TYPE AS NOTED ON PLANS.
	SINGLE-POLE, MANUAL DISCONNECT SWITCH WITH THERMAL OVERLOAD ELEMENT, MOUNTED ADJACENT TO MOTOR.
	SINGLE-POLE, FRACTIONAL HORSEPOWER MOTOR STARTER/DISCONNECT SWITCH, MOUNTED ADJACENT TO MOTOR.
	SWITCH FURNISHED UNDER ANOTHER DIVISION, BUT INSTALLED AND WIRED UNDER THIS DIVISION, WALL MOUNTED, +42" UON.
	LINE-VOLTAGE THERMOSTAT, NEC, WALL MOUNTED +48" UON. INSTALLED AND WIRED BY ELECTRICAL.
	CONTROL STATION, WALL MOUNTED, +42" UON.
CONVENTIONS	
	NUMBERED NOTE, APPLIES TO ALL DRAWINGS.
	NUMBERED SHEET NOTE, APPLIES TO DRAWING CONTAINING NOTES ONLY.
	OVERCURRENT PROTECTIVE DEVICE NUMBER IDENTIFICATION TAG. REFERS TO LOCATION OF PROTECTIVE OR CONTROL DEVICE WITHIN SWITCHBOARDS, DISTRIBUTION BOARDS, MOTOR CONTROL CENTERS, ETC.
	EQUIPMENT IDENTIFICATION TAG. ITEM FURNISHED AND INSTALLED UNDER ANOTHER DIVISION AND WIRED UNDER THIS DIVISION.
	FEEDER TAG. REFER TO FEEDER SCHEDULE.
	DETAIL REFERENCE: DETAIL DESIGNATION SHEET NUMBER
	LUMINAIRE IDENTIFICATION TAG: FIXTURE TYPE QUANTITY

SYMBOLS LIST	
LIGHTING	
	LUMINAIRE, RECESSED IN CEILING.
	LUMINAIRE, SURFACE MOUNTED.
	SUSPENDED LINEAR LUMINAIRE. SUSPENSION POINTS ARE GRAPHIC ONLY AND DO NOT REPRESENT ACTUAL LOCATION OR QUANTITY.
	LUMINAIRE, WALL MOUNTED.
	STRIP LUMINAIRE, SURFACE OR PENDANT MOUNTED.
	STRIP LUMINAIRE, SURFACE MOUNTED IN ARCHITECTURAL CEILING COVE.
	STRIP LUMINAIRE, SURFACE MOUNTED VERTICALLY ON WALL OR IN COVE.
	ROUND DOWNLIGHT LUMINAIRE, RECESSED IN CEILING.
	SQUARE DOWNLIGHT LUMINAIRE, RECESSED IN CEILING.
	DOWNLIGHT/INDUSTRIAL LUMINAIRE, SURFACE OR PENDANT MOUNTED.
	DIRECTIONAL LUMINAIRE, RECESSED IN CEILING.
	DIRECTIONAL LUMINAIRE, SURFACE OR PENDANT MOUNTED.
	LINEAR, MULTI-HEAD, ADJUSTABLE ACCENT LUMINAIRES, RECESSED IN CEILING.
	LINEAR WALLWASH LUMINAIRE, RECESSED IN CEILING.
	LINEAR WALLWASH LUMINAIRE, SURFACE OR PENDANT MOUNTED.
	SCONCE LUMINAIRE, WALL MOUNTED.
	LED TAPE STRIP TYPE LUMINAIRE, MOUNTED LOOSE OR IN CHANNEL.
	DECORATIVE LUMINAIRE, PENDANT MOUNTED.
	LINEAR TRACK SYSTEM WITH PLUG-IN ADJUSTABLE LUMINAIRE HEADS. TRACK SHALL BE EITHER RECESSED, SURFACE OR PENDANT MOUNTED TO CEILING AS NOTED IN LUMINAIRE SCHEDULE. 'X' NEXT TO JUNCTION BOX REPRESENTS INTEGRAL CURRENT LIMITER TRIP RATING.
	EXIT SIGN LUMINAIRE, CEILING OR WALL MOUNTED WITH DIRECTIONAL ARROWS AS NOTED ON PLANS. WORD "EXIT" TO BE LOCATED IN SHADED FACE(S).
	COMBO EXIT SIGN AND EGRESS LUMINAIRE, CEILING OR WALL MOUNTED WITH ARROWS AS NOTED ON PLANS OR IN LUMINAIRE SCHEDULE.
	EMERGENCY SELF-POWERED BATTERY PACK WITH LUMINAIRE HEADS AS NOTED ON PLANS OR IN LUMINAIRE SCHEDULE.
	SHADING OF ANY LUMINAIRE INDICATES CRITICAL/STANDBY LIGHTING.
	HALF SHADING OF ANY LUMINAIRE INDICATES EMERGENCY/EGRESS LIGHTING.
	SINGLE-HEAD AREA LUMINAIRE WITH BRACKET ARM AND POLE, MOUNTED TO CONCRETE BASE.
	TWO-HEAD AREA LUMINAIRE WITH BRACKET ARMS AND POLE, MOUNTED TO CONCRETE BASE.
	SINGLE-HEAD AREA POST-TOP LUMINAIRE WITH POLE, MOUNTED TO CONCRETE BASE.
	AREA LUMINAIRE, SURFACE OR RECESSED MOUNTED TO WALL.
	LUMINAIRE BOLLARD, MOUNTED TO CONCRETE BASE.
	GROUNDWELL LUMINAIRE MOUNTED FLUSH IN FINISHED GRADE.
	FLOODLIGHT LUMINAIRE, STANCHION MOUNTED ABOVE GRADE.
	LINEAR SIGN-LIGHT LUMINAIRE, STANCHION MOUNTED ABOVE GRADE.
	STEPLIGHT LUMINAIRE, WALL MOUNTED.
	MULTIPLE LUMINAIRES MOUNTED ON COMMON POLE.
	F.A.A OBSTRUCTION LUMINAIRE.
LINE VOLTAGE LIGHTING CONTROL	
	SINGLE-POLE, SINGLE-THROW SWITCH, WALL MOUNTED, +42" UON.
	THREE-WAY SWITCH, WALL MOUNTED, +42" UON.
	FOUR-WAY SWITCH, WALL MOUNTED, +42" UON.
	SINGLE-POLE, SINGLE-THROW SWITCH, KEY-OPERATED, WALL MOUNTED, +42" UON.
	SINGLE-POLE, SINGLE-THROW SWITCH, WITH PILOT LIGHT, WALL MOUNTED, +42" UON.
	WALLBOX DIMMER SWITCH, +42" UON. SIZED PER CONNECTED LOAD ON PLANS AND FURNISHED FOR LAMP SOURCE SERVED. PROVIDED FOR DERATING WHEN INSTALLED GANGED LOCATIONS.
	SINGLE-POLE, TIMER CONTROLLED SWITCH, WALL MOUNTED, +42" UON.
	SINGLE-POLE, SINGLE-THROW SWITCH, EXPLOSION PROOF, WALL MOUNTED, +42" UON.
	LINE VOLTAGE SINGLE RELAY VACANCY SENSOR, WALL MOUNTED, +42" UON.
	SINGLE-POLE, SINGLE-THROW SWITCH WITH WEATHERPROOF COVER, WALL MOUNTED, +42" UON.
	SINGLE-POLE SWITCH WITH AUTOMATIC HUMIDITY CONTROL, WALL MOUNTED, +42" UON.
	DUAL LEVEL OCCUPANCY SENSOR SWITCH, WALL MOUNTED, +42" UON.
	SINGLE LEVEL OCCUPANCY SENSOR SWITCH, WALL MOUNTED, +42" UON.
	COMBINATION OCCUPANCY SENSOR AND DIMMER SWITCH, WALL MOUNTED, +42" UON.
	OCCUPANCY SENSOR FOR AREA COVERAGE, CEILING MOUNTED.
	PHOTOELECTRIC CELL SENSOR, CEILING MOUNTED.
	EGRESS LIGHTING TRANSFER DEVICE.
	BYPASS DEVICE FOR CONTROLLED EMERGENCY LIGHTING.
RACEWAYS	
	CONDUIT RUN EXPOSED ON WALL OR CEILING.
	CONDUIT RUN CONCEALED IN SLAB, UNDER SLAB OR UNDERGROUND.
	CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING.
	CONDUIT HOMERUN, CONTINUOUS RUN TO PANEL OR EQUIPMENT CABINET. HOMERUN CAN OCCUR ON ANY OF THE ABOVE ROUTING CONDITIONS.
	CONDUIT TURNED UP, CAN OCCUR ON ANY OF THE ABOVE ROUTING CONDITIONS.
	CONDUIT TURNED DOWN, CAN OCCUR ON ANY OF THE ABOVE ROUTING CONDITIONS.
	CONDUIT CAPPED OR STUBBED WITH INSULATED BUSHINGS. CAN OCCUR ON ANY OF THE ABOVE ROUTING CONDITIONS.
	CONDUIT SLEEVE, WITH INSULATING BUSHINGS.
	FLEXIBLE METALLIC CONDUIT, EQUIPMENT CONNECTION.
	CROSSMARKS ON BRANCH CIRCUIT CONDUIT RUNS INDICATE THE QUANTITY OF CONDUCTORS AS FOLLOWS (GROUND CONDUCTORS ARE NOT NOTED, BUT SHOULD BE INCLUDED IN EVERY CONDUIT WITH POWER CONDUCTORS): 1. NO CROSSMARKS INDICATES TWO #12 AWG CONDUCTORS, UON. 2. THREE TO SIX CROSSMARKS INDICATES THE QUANTITY OF #12 AWG CONDUCTORS, UON. 3. SEVEN OR MORE CROSSMARKS INDICATES THE QUANTITY OF #10 AWG CONDUCTORS, UON.
	SURFACE RACEWAY, TYPE, DEVICE SPACING AND MOUNTING AS NOTED ON PLANS.
	CABLE TRAY'S/RUNWAYS, REFER TO PLANS AND/OR SPECS FOR SIZE AND MOUNTING.

SOME OF THESE SYMBOLS SHOWN MAY NOT BE USED ON THIS PROJECT	
FIRE ALARM	
	SMOKE DETECTOR INITIATING DEVICE, CEILING MOUNTED IN FLUSH OR SURFACE JUNCTION BOX. "C" DENOTES MULTI-CRITERIA CARBON MONOXIDE AND SMOKE DETECTOR.
	SMOKE DETECTOR INITIATING DEVICE, WALL MOUNTED IN FLUSH JUNCTION BOX, MAXIMUM 6" BELOW CEILING.
	SMOKE DETECTOR INITIATING DEVICE, MOUNTED TO STRUCTURE ABOVE SUSPENDED CEILING IN SURFACE JUNCTION BOX OR SUSPENDED IN JUNCTION BOX.
	SMOKE DETECTOR INITIATING DEVICE, DUCT-MOUNTED TYPE WITH SAMPLING TUBE.
	SMOKE DETECTOR INITIATING DEVICE, IN-DUCT MOUNTED TYPE.
	PROJECTED BEAM SMOKE DETECTOR INITIATING DEVICES TO INCLUDE TRANSMITTER, RECEIVER AND REMOTE INDICATOR STATION, WALL MOUNTED IN FLUSH JUNCTION BOX BELOW BEAM DETECTOR AT +42" AFF. BEAM DETECTORS ARE EITHER CEILING OR WALL MOUNTED 6" BELOW CEILING.
	HEAT DETECTOR INITIATING DEVICE, CEILING MOUNTED IN FLUSH OR SURFACE JUNCTION BOX.
	HEAT DETECTOR INITIATING DEVICE, WALL MOUNTED IN FLUSH JUNCTION BOX, MAXIMUM 6" BELOW CEILING.
	HEAT DETECTOR INITIATING DEVICE, MOUNTED TO STRUCTURE ABOVE SUSPENDED CEILING IN SURFACE JUNCTION BOX.
	MANUAL PULL STATION INITIATING DEVICE, WALL MOUNTED AT +48" UON.
	SPRINKLER SYSTEM WATER FLOW SWITCH, NEC. SYMBOL DENOTES INTERFACE FOR MONITORING CONNECTION FROM FIRE ALARM SYSTEM.
	SPRINKLER SYSTEM TAMPER SWITCH, NEC. SYMBOL DENOTES INTERFACE FOR MONITORING CONNECTION FROM FIRE ALARM SYSTEM.
	SPRINKLER SYSTEM POST INDICATING VALVE "PIV", NEC. SYMBOL DENOTES INTERFACE FOR MONITORING CONNECTION FROM FIRE ALARM SYSTEM. INCLUDE A REMOTE MOUNTED ADDRESSABLE MONITORING MODULE AT PIV.
	REMOTE MOUNTED SINGLE INPUT, ADDRESSABLE, MONITORING MODULE FOR INITIATING CIRCUIT CONNECTION.
	REMOTE MOUNTED DUAL INPUT, ADDRESSABLE, MONITORING MODULE FOR INITIATING CIRCUIT CONNECTION.
	REMOTE MOUNTED PROGRAMMABLE CONTROL RELAY MODULE FOR ADDRESSABLE CONTROL.
	DIFFERENTIAL PRESSURE SWITCH, NEC. SYMBOLS DENOTES INTERFACE FOR MONITORING CONNECTION FROM FIRE ALARM SYSTEM TO ANNUNCIATE FAN OPERATION. INCLUDE A REMOTE MOUNTED ADDRESSABLE MONITORING MODULE AT EACH LOCATION.
	END-OF-LINE RESISTOR.
	CURRENT TRANSFORMER FOR MONITORING AVAILABLE POWER.
	FIREMAN'S REMOTE ANNUNCIATOR PANEL FRAP, FLUSH WALL MOUNTED, +42" UON.
	MAGNETIC TYPE DOOR HOLD OPEN/RELEASE DEVICE, WALL MOUNTED, NEC. SYMBOL DENOTES INTERFACE FOR POWER AND CONTROL CONNECTIONS FROM FIRE ALARM SYSTEM.
	DOOR HOLD OPEN/RELEASE DEVICE INTEGRATED IN DOOR HARDWARE CLOSURE EQUIPMENT, NEC. SYMBOL DENOTES INTERFACE FOR POWER AND CONTROL CONNECTIONS FROM FIRE ALARM SYSTEM.
	AUDIBLE NOTIFICATION APPLIANCE, WALL MOUNTED, 6" BELOW CEILING OR +80" AFF, WHICHEVER IS LOWER.
	VISIBLE NOTIFICATION APPLIANCE, WALL MOUNTED, 6" BELOW CEILING OR +80" AFF, WHICHEVER IS LOWER. NUMBER ASSOCIATED WITH 'c' REPRESENTS CANDELA RATING OF STROBE.
	AUDIBLE/VISIBLE NOTIFICATION APPLIANCE, WALL MOUNTED, 6" BELOW CEILING OR +80" AFF, WHICHEVER IS LOWER. NUMBER ASSOCIATED WITH 'c' REPRESENTS CANDELA RATING OF STROBE.
	AUDIBLE NOTIFICATION APPLIANCE, CEILING MOUNTED IN FLUSH BACK BOX.
	VISIBLE NOTIFICATION APPLIANCE, CEILING MOUNTED IN FLUSH BACK BOX. NUMBER ASSOCIATED WITH 'c' REPRESENTS CANDELA RATING OF STROBE.
	AUDIBLE/VISIBLE NOTIFICATION APPLIANCE, CEILING MOUNTED IN FLUSH BACK BOX. NUMBER ASSOCIATED WITH 'c' REPRESENTS CANDELA RATING OF STROBE.
	MOTOR OPERATED FIRE/SMOKE DAMPER "FSD", NEC. SYMBOL DENOTES FIRE ALARM INTERFACE WITH PROGRAMMABLE CONTROL RELAY FOR FSD CONTROL AND DUAL INPUT ADDRESSABLE MONITORING MODULE FOR POSITION MONITORING VIA END SWITCHES.
DIGITAL LIGHTING CONTROLS	
	SINGLE ZONE DIMMER SWITCH WITH ON/OFF/DIM CAPABILITIES, WALL MOUNTED, +42" UON.
	SINGLE ZONE SWITCH WITH ON/OFF CAPABILITIES, WALL MOUNTED, +42" UON.
	SCENE OR MULTI-ZONE CONTROLLER WITH ON/OFF/DIM CAPABILITIES ZONE, WALL MOUNTED, +42" UON.
	LIGHTING CONTROL OCCUPANCY SENSOR WITH DIMMING, WALL MOUNTED, +42" UON.
	LIGHTING CONTROL OCCUPANCY SENSOR WITH SINGLE LEVEL SWITCHING, WALL MOUNTED, +42" UON.
	DAYLIGHT HARVESTING SENSOR, CEILING MOUNTED.
	OCCUPANCY SENSOR, CEILING MOUNTED FOR AREA COVERAGE.
	PLUG LOAD CONTROLLER, UL LISTED FOR CONTROLLING RECEPTACLES, 20A RATED.
	REMOTE DIMMING OR SWITCHING MODULE, NUMBER OF RELAYS CONTROLLED AS INDICATED ON THE PLAN. MAY CONSIST OF ONE DEVICE WITH MULTIPLE RELAYS, OR MORE THAN ONE SINGLE-RELAY DEVICE. DEVICE SHALL BE LOCATED CONCEALED IN AN EASILY ACCESSIBLE SPACE.
	HVAC INTERFACE DEVICE; ROOM HVAC TO SHUT DOWN WHEN ROOM IS VACANT.
	NETWORK INTERFACE. QUANTITY OF COMPONENTS, OR INTEGRATION OF THIS FEATURE INTO OTHER DEVICES, MAY VARY BY MANUFACTURER.
	LIGHTING CONTROL PANEL.

ABBREVIATIONS			
A	AMPERES	KO	CONDUIT KNOCKOUT
AFI	ARC FAULT CIRCUIT INTERRUPTER	LCP	LIGHTING CONTROL PANEL
AF	AMPERE OVERCURRENT FRAME SIZE (WHEN APPLIED TO CIRCUIT BREAKERS) OR AMPERE FUSE SIZE (WHEN APPLIED TO FUSES)	MBGB	MAIN BUILDING GROUND BUS
		MGB	MAIN CIRCUIT BREAKER
AFF	ABOVE FINISHED FLOOR	MCC	MOTOR CONTROL CENTER
AIC	ASYMMETRIC INTERRUPTING CURRENT	MDF	MAIN DISTRIBUTION FRAME
AL	ALUMINUM	MLO	MAIN LUGS ONLY
AT	AMPERE OVERCURRENT TRIP (WHEN APPLIED TO CIRCUIT BREAKERS)	MTC	EMPTY CONDUIT
		MTS	MANUAL TRANSFER SWITCH
AV	AUDIO / VIDEO	(N)	NEW
ATS	AUTOMATIC TRANSFER SWITCH	NC	NORMALLY CLOSED
BAS	BUILDING AUTOMATION SYSTEM	NF	NON-FUSED
BPS	BOLTED PRESSURE CONTACT SWITCH	NEIC	NOT IN ELECTRICAL CONTRACT
C	CONDUIT	NL	NIGHT LIGHT, UNSWITCHED
CCTV	CLOSED CIRCUIT TELEVISION	NO	NORMALLY OPEN
CEC	CALIFORNIA ELECTRICAL CODE	NTS	NOT TO SCALE
CL	CURRENT LIMITING CIRCUIT BREAKER OR FUSE	OC	ON CENTER
CP	CIRCULATION PUMP	OCFI	OWNER FURNISHED CONTRACTOR INSTALLED
CT	CURRENT TRANSFORMER	PA	PUBLIC ADDRESS
CU	COPPER	PDZ	PRIMARY DAYLIGHT ZONE
DF	DRINKING FOUNTAIN	PNL	PANEL
(E)	EXISTING TO REMAIN	PQM	POWER QUALITY METER
EC	ELECTRICAL CONTRACTOR	PT	POTENTIAL TRANSFORMER
EF	EXHAUST FAN	PVC	POLYVINYL CHLORIDE
EP	EXPLOSION PROOF	(R)	EXISTING TO BE REMOVED
EPO	EMERGENCY POWER OFF	(RR)	REMOVE AND RELOCATE
EMT	ELECTRICAL METALLIC TUBING	SAD	SEE ARCHITECTURAL DRAWINGS
EW	ELECTRIC WATER HEATER	TC	TIME CLOCK
F	FUSED	TP	TWISTED-PAIR
(F)	FUTURE	SDZ	SECONDARY DAYLIGHT ZONE
FACP	FIRE ALARM CONTROL PANEL	SPD	SURGE PROTECTION DEVICE
FFCP	FIREMAN'S FAN CONTROL PANEL	TX	TRANSFORMER
FLA	FULL LOAD AMPERES	TYP	TYPICAL
FMC	FLEXIBLE METAL CONDUIT	UON	UNLESS OTHERWISE NOTED
FSD	FIRE/SMOKE DAMPER	UPS	UNINTERRUPTIBLE POWER SUPPLY
FRAP	FIREMAN'S REMOTE ANNUNCIATOR PANEL	V	VOLTS
		VA	VOLTS-AMPS
G	GROUND	VFD	VARIABLE FREQUENCY DRIVE
GB	GROUND BUS	VM	VENDING MACHINE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WAP	WIRELESS ACCESS POINT
GND	GROUND	WP	WEATHERPROOF
GRAP	GENERATOR REMOTE ANNUNCIATOR PANEL	2SP	TWO SPEED
GRC	GALVANIZED RIGID CONDUIT	1Ø	1-PHASE
HNC	HOME NETWORK CABINET	3Ø	3-PHASE
HPC	HIGH PRESSURE CONTACT SWITCH	1P	1-POLE
IDF	INTERMEDIATE DISTRIBUTION FRAME	2P	2-POLE
IG	ISOLATED GROUND	3P	3-POLE
INV	INVERTER	3W	3-WIRE
IMC	INTERMEDIATE METAL CONDUIT	4W	4-WIRE
APPLIANCES			
DO	DOUBLE OVEN	MW	MICROWAVE
DW	DISHWASHER	RF	REFRIGERATOR

IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT - SCALE ACCORDINGLY

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PROJECT GENERAL NOTES	
1.	ELECTRICAL SCOPE SHALL COMPLY WITH THE LATEST ADOPTED EDITIONS OF THE CALIFORNIA ELECTRIC CODE (CEC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA MECHANICAL CODE (CMC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 72) AND THE CALIFORNIA ENERGY CODE.
2.	THE CONTRACTOR SHALL VISIT THE JOBSITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT AND SHALL INCLUDE IN THEIR BID THE NECESSARY COSTS TO CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE ELECTRICAL DRAWINGS, SPECIFICATIONS, AND ALL APPLICABLE CODES.
3.	DRAWINGS INDICATE GENERAL ARRANGEMENT OF ELECTRICAL SYSTEMS AND WORK. FOLLOW THE DRAWINGS IN LAYING OUT WORK AND VERIFY EXACT LOCATIONS WITH ARCHITECTURAL FLOOR PLAN AND RCP DRAWINGS. ALSO, CHECK DRAWINGS OF OTHER TRADES TO VERIFY LOCATIONS OF EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS AND COORDINATE SPACE CONDITIONS WITH THEIR INSTALLATION. FINAL LOCATIONS SHALL BE ADJUSTED TO MEET FIELD CONDITIONS.
4.	NOT EVERY ELECTRICAL RACEWAY, BOX, CONDUCTOR, ETC., FOR A COMPLETE ELECTRICAL INSTALLATION IS SHOWN ON THESE DRAWINGS. THIS IS DONE FOR CLARITY PURPOSES AND EASE OF INTERPRETING DRAWINGS. PROVIDE ALL ADDITIONAL ITEMS REQUIRED TO MAKE THE ELECTRICAL SYSTEMS COMPLETE AND OPERATIONAL.
5.	WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THESE DRAWINGS AND SHALL ALSO COMPLY WITH THE ELECTRICAL SPECIFICATIONS. IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT OF THE REQUIREMENTS SHALL TAKE PRECEDENT.
6.	ALL NEW ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE UNDERWRITER'S LABORATORIES (UL) LISTED OR ELECTRICAL TESTING LABORATORIES (ETL) LISTED AND BEAR THEIR LABELS.
7.	ALL ELECTRICAL MATERIALS SHALL BE NEW AND UNUSED, AND THE SAME MANUFACTURER OF LIKE EQUIPMENT AND/OR SYSTEMS.
8.	CONTRACTOR SHALL REMOVE ALL LEFTOVER CONDUIT, WIRE, SCRAPS, ETC. AND LEAVE PREMISES CLEAN AND FREE OF TRASH AND DEBRIS RESULTING FROM THEIR WORK.
9.	ALL EQUIPMENT, DEVICES, LUMINAIRES, AND RACEWAYS SHOWN AS SCREENED LINework ON THESE DRAWINGS ARE EXISTING TO REMAIN, UNLESS OTHERWISE NOTED TO BE REMOVED.
10.	ALL EQUIPMENT, DEVICES, LUMINAIRES, AND RACEWAYS SHOWN AS SOLID LINework ON THESE DRAWINGS ARE NEW CONSTRUCTION.
11.	THE EXISTING INSTALLATION SHOWN ON THESE DRAWINGS WAS DEVELOPED FROM VARIOUS SOURCES, WHICH WERE NOT ALL FIELD VERIFIED AND NOT ALL CONDITIONS ARE SHOWN. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
12.	CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EQUIPMENT, DEVICES, LUMINAIRES, AND RACEWAYS DEDICATED TO THESE DRAWINGS. LEGALLY DISPOSE OF ALL MATERIALS THAT THE OWNER DOES NOT WANT.
13.	RECONNECT EXISTING TO REMAIN DEVICES WHERE CIRCUITS HAVE BEEN INTERRUPTED BY DEMOLITION WORK TO MAINTAIN CONTINUITY. PROVIDE NEW CONNECTIONS TO ANOTHER EXISTING DEVICE OR NEW CIRCUIT BREAKER FROM PANELBOARD. VERIFY CIRCUIT LOADING ON EXISTING CIRCUITS BEFORE MAKING THESE CONNECTIONS.
14.	WHERE EXISTING DEVICES TO BE REMOVED ARE SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL ALSO REMOVE ALL WIRING, CONDUIT, AND BOXES SERVING THE DEVICES, UNLESS CONDUIT AND BOXES CAN BE REUSED IN NEW CONSTRUCTION.
15.	WHEN A DEVICE IS REMOVED FROM AN EXISTING WALL TO REMAIN, PATCH WALL TO MATCH EXISTING OR NEW WALL FINISHES.
16.	MOUNTING HEIGHTS FOR ALL NEW DEVICES SHALL BE LOCATED TO MATCH EXISTING TO REMAIN DEVICES, UNLESS OTHERWISE NOTED.
17.	WHERE ADDITIONAL CIRCUITS ARE REQUIRED AND EXISTING PANELBOARDS HAVE AVAILABLE SPACE, PROVIDE NEW CIRCUIT BREAKERS IN EXISTING PANELBOARDS TO MATCH THE AIC RATINGS AND THE MANUFACTURER OF THE EXISTING BREAKERS.
18.	ALL GROUNDING ELECTRODES WITHIN BUILDING OR STRUCTURE SHALL BE BONDED TOGETHER TO FORM A SINGLE GROUNDING ELECTRODE SYSTEM.
19.	FURNISH, INSTALL, AND CONNECT A CODE SIZED INSULATED OR BARE COPPER GROUND CONDUIT IN ALL BRANCH CIRCUITS AND FEEDER CONDUITS AND/OR MC CABLES.
20.	WHERE UNGROUNDED CONDUCTORS ARE INCREASED IN SIZE TO ACCOMMODATE VOLTAGE DROP, THE EQUIPMENT GROUND CONDUCTOR SHALL ALSO BE INCREASED IN SIZE PROPORTIONATELY, ACCORDING TO THE CIRCULAR MIL AREA OF UNGROUNDED CONDUCTORS.
21.	ALL EQUIPMENT CONNECTED BY PERMANENT WIRING METHODS SHALL BE GROUNDED.
22.	BRANCH CIRCUIT CONDUCTORS SHALL BE SIZED TO PREVENT VOLTAGE DROP EXCEEDING 3% AT THE FARTHEST OUTLET OR DEVICE. THE MAXIMUM VOLTAGE DROP ALLOWED ON COMBINED FEEDERS AND BRANCH CIRCUITS SHALL NOT EXCEED 5% TO THE FARTHEST OUTLET OR DEVICE.
23.	ALL CONDUCTORS ON THIS PROJECT SHALL BE COPPER.
24.	CONDUCTORS 600VOLT OR LESS RATED SHALL UTILIZE THE AMPACITY OF THE 60-DEGREE C COLUMN OF CEC TABLE 310.16 FOR CONDUCTOR SIZES #14 AWG THROUGH #1 AWG. FOR CONDUCTOR SIZES OVER #1 AWG, UTILIZE AMPACITY FROM THE 75-DEGREE C COLUMN OF CEC TABLE 310.16.
25.	MULTIWIRE BRANCH CIRCUITS SHALL ORIGINATE FROM THE SAME PANELBOARD.
26.	MULTIWIRE BRANCH CIRCUITS SHALL BE PROVIDED WITH A MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES, I.E. HANDLE TIES OR MULTIPOLE CIRCUIT BREAKERS.
27.	ALL MULTIWIRE BRANCH CIRCUITS SHOWN WITH THREE (3) CONSECUTIVE PHASE CONDUCTORS (E.G., 1, 3, 5 OR 4, 6, 8), NONE SHARING THE SAME PHASE, SHALL INCLUDE A DEDICATED NEUTRAL CONDUCTOR, THREE (3) HOTS AND ONE (1) NEUTRAL, CIRCUITING OUT OF PHASE ORDER (E.G., 1, 5, 7 OR 4, 6, 10) WILL REQUIRE AN ADDITIONAL NEUTRAL CONDUCTOR, TWO (2) HOTS AND ONE (1) NEUTRAL PLUS ONE (1) HOT AND ONE (1) NEUTRAL.
28.	BRANCH CIRCUIT CONDUCTOR HOMERUNS SHALL BE INSTALLED IN CONDUIT. MC TYPE CABLE SHALL NOT BE USED FOR ANY HOMERUNS ON THIS PROJECT.
29.	FEEDER CONDUCTORS SHALL BE INSTALLED IN CONDUIT, UNLESS OTHERWISE NOTED.
30.	PROVIDE FEEDER CONDUCTOR SUPPORT IN VERTICAL RACEWAYS AS REQUIRED BY CODE, CEC 800.19.
31.	WHERE MORE THAN THREE UNGROUNDED CONDUCTORS ARE ROUTED WITHIN A RACEWAY, THE CONTRACTOR SHALL APPLY THE DERATING FACTOR REQUIRED BY CODE.
32.	MINIMUM CONDUIT TRADE SIZE FOR INTERIOR APPLICATIONS SHALL BE 0.5", UNLESS OTHERWISE NOTED.
33.	CONDUIT ROUTING ON DRAWINGS IS ESSENTIALLY DIAGRAMMATIC. CONTRACTOR SHALL LAYOUT RUNS TO SUIT FIELD CONDITIONS, LIMITING BENDS AND BOXES, AND SHALL COORDINATE INSTALLATION WITH WORK OF OTHER TRADES.
34.	ALL CONDUIT AND RACEWAY PENETRATIONS THROUGH FIRE-RATED WALLS OR FLOORS SHALL BE UL LISTED ASSEMBLIES THAT PROTECTS THE RATED ASSEMBLY. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL RATED WALLS AND FLOORS AS APPLICABLE.
35.	FOR CONDUITS IMBEDDED IN CONCRETE FLOOR SLABS OR DECKS, THE MAXIMUM CONDUIT TRADE SIZE SHALL NOT EXCEED 1/2" OR 1/3 OF FLOOR THICKNESS, WHICHEVER IS SMALLER. CONDUITS SHALL BE SPACES A MINIMUM OF 6" APART, CENTER-TO-CENTER. COORDINATE LOCATION AND ROUTING WITHIN FLOOR WITH THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
36.	ANY BLOCKOUTS AND SLEEVING OF CONCRETE FLOORS SHALL BE PLANNED IN ADVANCED AND COORDINATED WITH THE ARCHITECT AND STRUCTURAL ENGINEER FOR THEIR APPROVALS.
37.	ALL CONNECTIONS TO MECHANICAL AND PLUMBING EQUIPMENT SHALL BE MADE WITH A MINIMUM OF 36" SEALTIGHT FLEXIBLE METAL CONDUIT TO PREVENT SOUND AND VIBRATION TRANSMISSION TO THE STRUCTURE.
38.	BUILDING EXPANSION JOINTS ARE NOT INDICATED ON THE ELECTRICAL DRAWINGS AND SHALL BE COORDINATED WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. INCLUDE FLEXIBLE EXPANSION RACEWAY AND WIRING METHODS AT JOINT LOCATIONS TO MEET THE DEFLECTION AND EXPANSION REQUIREMENTS OF THE BUILDING.
39.	PROVIDE INSULATING BUSHINGS OR INSULATED THROAT CONNECTORS AT BOTH ENDS OF ALL CONDUIT SLEEVES.
40.	DRAWINGS INDICATE JUNCTION BOXES WITH CONDUIT/CONDUCTOR HOMERUNS FOR BRANCH CIRCUITING. AS WIRING IS ADJACENT TO EQUIPMENT DEVICES, LUMINAIRES, AND BOXES SERVED, THEY DO NOT INCLUDE CONNECTIONS BETWEEN DEVICES AND/OR LUMINAIRES. CONTRACTOR SHALL PROVIDE ALL RACEWAY AND CONDUCTOR CONNECTIONS BETWEEN THE DEVICES, LUMINAIRES, AND JUNCTION BOXES AS REQUIRED AND COORDINATED WITH FIELD CONDITIONS AND OTHER TRADES.
41.	MAINTAIN A MINIMUM OF 12" BETWEEN ELECTRICAL RACEWAYS AND LOW-VOLTAGE TELECOMMUNICATION SYSTEM CABLEING, INCLUDING MC CABLEING.
42.	IN HARD-LID (GYPSUM BOARD) CEILING SPACES, ARRANGE CONDUIT AND CIRCUITING INSTALLATION TO AVOID AND/OR LIMIT THE USE OF JUNCTION BOXES IN OR ABOVE CEILINGS. USE OF JUNCTION BOXES ABOVE CEILINGS SHALL BE LIMITED TO LOCATIONS ACCESSIBLE FROM ACCESS PANELS.
43.	ALL JUNCTION AND PULL BOXES SHALL BE SIZED PER CODE TO ACCOMMODATE NUMBER OF CONDUITS AND/OR CONDUCTORS ROUTED TO AND FROM BOXES.
44.	RACEWAYS ROUTED IN EXPOSED CEILING AREAS SHALL BE RUN PARALLEL AND AT RIGHT ANGLES TO WALLS WITHIN SPACES. MC CABLE IS NOT ALLOWED IN EXPOSED CEILING SPACES.

PROJECT GENERAL NOTES (cont.)	
45.	PROVIDE A PULL WIRE/TAPE IN ALL EMPTY CONDUIT RUNS OVER 15' IN LENGTH.
46.	NO PIPING, DUCTWORK, OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE ALLOWED WITHIN THE DEDICATED SPACE ABOVE ELECTRICAL EQUIPMENT.
47.	REQUIRED ELECTRICAL EQUIPMENT WORKING SPACE DEPTH SHALL NOT BE LESS THAN THAT INDICATED IN CEC TABLE 110.28(A)(1). THE WIDTH OF THE WORKING SPACE IN FRONT OF THE ELECTRICAL EQUIPMENT SHALL BE THE WIDTH OF THE EQUIPMENT OR 30", WHICHEVER IS GREATER. THIS REQUIREMENT ALSO APPLIES TO DISCONNECT SWITCHES.
48.	UPON COMPLETION OF THE POWER SYSTEM STUDY AND REVIEW BY THE ENGINEER, THE ELECTRICAL CONTRACTOR SHALL MAKE ANY REQUIRED ADJUSTMENTS TO THE ELECTRICAL EQUIPMENT SUBMITTALS IN CONFORMANCE WITH THE STUDIES RECOMMENDATIONS AND SUBMIT FOR REVIEW BY THE ENGINEER. NO ELECTRICAL EQUIPMENT SHALL BE RELEASED FOR SHIPMENT OR INSTALLED ON-SITE PRIOR TO ENGINEER'S REVIEW OF THE POWER SYSTEM STUDY AND APPROVED ADJUSTMENTS TO ELECTRICAL EQUIPMENT SUBMITTALS.
49.	CONTRACTOR SHALL PROVIDE ARC FLASH LABELS FOR ALL ELECTRICAL EQUIPMENT WITHIN THE SCOPE OF THIS PROJECT. THESE LABELS SHALL BE GENERATED BY THE CONTRACTOR FROM THE POWER SYSTEM STUDY AND SUBMITTED WITH THE POWER SYSTEM STUDY SUBMITTAL FOR THE ENGINEER'S REVIEW. THIS INCLUDES ALL FIELD MARKING OF AIC VALUES ON ALL BOARDS PER THE CEC.
50.	PROVIDE ENGRAVED NAMEPLATES FOR ALL ELECTRICAL PANELBOARDS, SWITCHBOARDS, SWITCHGEAR, TRANSFORMERS, AND DISCONNECT SWITCHES, AS DESCRIBED IN THE SPECIFICATIONS.
51.	CONTRACTOR SHALL ENSURE THAT THE ELECTRICAL EQUIPMENT PROVIDED UNDER THEIR CONTRACT WILL FIT WITHIN THE ELECTRICAL ROOMS AND SPACES PROVIDED IN THE BID DOCUMENTS, WHETHER PROVIDED BY THE SPECIFIED EQUIPMENT MANUFACTURER OR NOT. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED IF CONTRACTOR NEEDS TO ADJUST EQUIPMENT PACKAGE TO OBTAIN REDUCED DIMENSIONS.
52.	OVERCURRENT PROTECTION SHOWN ON DRAWINGS FOR ALL MOTOR TYPE LOADS ARE BASED ON DOCUMENTS PROVIDED PRIOR TO BID. CONTRACTOR SHALL REVIEW EQUIPMENT SUBMITTALS AND SHOP DRAWINGS FOR HVAC, PLUMBING, FIRE PROTECTION, ELEVATORS, ETC. TO CONFIRM SIZES HAVE NOT CHANGED AND MAKE ADJUSTMENTS IF THEY HAVE.
53.	WIRING SPACE IN PANELBOARDS, DISTRIBUTION BOARDS, SWITCHBOARDS, AND SWITCHGEAR SHALL BE DEDICATED TO CONDUCTORS TERMINATED IN THAT ENCLOSURE AND SHALL NOT BE USED AS PULL AND/OR SPICE BOXES FOR CONDUCTORS THAT TERMINATE IN OTHER ENCLOSURES.
54.	ALL CIRCUIT BREAKERS SERVING THE FIRE ALARM CONTROL PANEL AND FIRE ALARM SYSTEM COMPONENTS SHALL HAVE LOCKABLE HANDLES AND SHALL BE RED IN COLOR, FOR EASE IN IDENTIFICATION.
55.	PROVIDE PROTECTION FROM PHYSICAL DAMAGE FOR ALL ELECTRICAL EQUIPMENT, LUMINAIRES, WIRING DEVICES, ETC., DURING THE CONSTRUCTION OF THE PROJECT.
56.	FIRE/SMOKE DAMPERS (FSD) SHALL CONTAIN A MOTOR RATED ACTUATOR REQUIRING A 20AMP, 120VOLT CONNECTION WITH A LOAD OF APPROXIMATELY 75WATTS PER ACTUATOR. DEPENDING ON THE PHYSICAL SIZE OF THE FSD, THERE MAY BE A REQUIREMENT FOR MORE THAN ONE ACTUATOR, REQUIRING MULTIPLE CONNECTIONS. THIS SHOULD BE VERIFIED WITH HVAC CONTRACTOR. MORE THAN ONE ACTUATOR ALSO MEANS MORE THAN ONE SET OF END SWITCHES, REQUIRING MULTIPLE FIRE ALARM CONNECTIONS.
57.	PROVIDE A MINIMUM OF 24" HORIZONTAL SEPARATION BETWEEN BACK-TO-BACK RECEPTACLES IN A 2-HOUR RATED WALL. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL 2-HOUR RATED WALLS.
58.	MOUNTING HEIGHTS OF ALL WIRING DEVICES ARE DIMENSIONED TO THE CENTER OF THE DEVICE, UNLESS OTHERWISE NOTED.
59.	PROVIDE INDIVIDUAL GFCI TYPE RECEPTACLES AT EACH LOCATION SHOWN ON DRAWINGS. DO NOT APPLY THE FEED THROUGH METHOD OF PROTECTING A NON-GFCI RECEPTACLE DOWNSTREAM OF A GFCI RECEPTACLE.
60.	PROVIDE GFCI TYPE RECEPTACLES WITH WEATHER RESISTANT "WHILE-IN-USE" COVERPLATES WITHIN 25' OF ALL EXTERIOR HVAC AND PLUMBING EQUIPMENT.
61.	ALL DRINKING FOUNTAIN RECEPTACLES SHALL BE GFCI TYPE.
62.	ALL WIRING DEVICES AND JUNCTION BOX COVERS SHALL HAVE TYPE-ON TAPE LABELS INDICATING THE PANELBOARD AND CIRCUIT SERVED BY EACH DEVICE.
63.	CONTRACTOR SHALL SIZE ALL JUNCTION AND PULL BOXES PER THE MINIMUM CODE REQUIREMENTS OF CEC ARTICLE 314, UNLESS OTHERWISE NOTED ON DRAWINGS.
64.	CORE DRILLING OF CONCRETE FLOORS FOR INSTALLATION OF POKE-THROUGH DEVICES SHALL BE PLANNED IN ADVANCE AND COORDINATED WITH ARCHITECT AND STRUCTURAL ENGINEER. X-RAYING OF FLOOR MAY BE REQUIRED, IF POST-TENSION SLAB, TO ENSURE THAT CORE DRILLING DOES NOT INTERFERE WITH STRUCTURAL MEMBERS WITHIN SLAB.
65.	CONTRACTOR SHALL CONFIRM THAT ALL LUMINAIRES SPECIFIED WITH TRIMS AND FRAMES ARE COMPATIBLE WITH THE ASSOCIATED CEILING TYPES, PRIOR TO PREPARING SUBMITTAL.
66.	CONTRACTOR SHALL REFER TO ARCHITECTURAL REFLECTED CEILING PLANS (RCP) FOR EXACT LOCATIONS OF ALL CEILING MOUNTED LUMINAIRES.
67.	CONTRACTOR SHALL REFER TO ARCHITECTURAL ELEVATION PLANS FOR EXACT LOCATIONS OF ALL WALL MOUNTED LIGHTING FIXTURES.
68.	LUMINAIRES MOUNTED IN CONTINUOUS ROWS SHALL BE THROUGH-WIRED WITHIN FIXTURE INTERNAL WIREWAY CHASE WITH CIRCUITS AND CONTROLS AS NOTED ON DRAWINGS. LUMINAIRES NOT LISTED FOR THROUGH-WIRING SHALL BE WIRED WITH SEPARATE RACEWAY AND WIRING EXTERNAL TO THE LIGHTING FIXTURES.
69.	ALL 0-10V LIGHTING CONTROL CABLING, ROUTED WITHIN SAME CONDUIT AS LINE-VOLTAGE PHASE CONDUCTORS, SHALL BE 600VOLT RATED TO MATCH CONDUCTORS.
70.	EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE EGRESS PATHWAY TO ILLUMINATION LEVELS OF 1 FOOT-CANDLE AVERAGE AT THE WALKING SURFACE, WITH NO POINT BEING LESS THAN 0.1 FOOT-CANDLE MINIMUM, A MAXIMUM-TO-MINIMUM RATIO 40-TO-1, NOT TO EXCEED.
71.	THE SUBSCRIPT ON SWITCHES "S" DENOTES THE LUMINAIRES CONTROLLED, WHICH IS ALSO FOUND ADJACENT TO THE CIRCUIT NUMBER AT EACH LUMINAIRE CONTROLLED BY SWITCH.
72.	CONTROLS SHALL MEET THE REQUIREMENTS OF CALIFORNIA TITLE 24, OF THE CURRENTLY ADOPTED EDITION.
73.	PROVIDE INDEPENDENT SWITCHING OR CONTROL DEVICE FOR EACH AREA ENCLOSED BY CEILING HEIGHT PARTITION WALLS.
74.	THE CALIFORNIA ENERGY CODE SECTION 10-103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TEST IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.
75.	LIGHTING CONTROLS ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS ACCEPTANCE TEST TECHNICIAN (ATT).
76.	A LISTING OF CERTIFIED ATT CAN BE FOUND AT: https://www.energy.ca.gov/programs-and-topics/programs/acceptance-test-technician-certification-provider-program/acceptance
77.	THE ACCEPTANCE TESTING PROCEDURES MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION/INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA. PROJECT INSPECTORS WILL COLLECT THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.
78.	MULTI-LEVEL LIGHTING CONTROL IS REQUIRED FOR ALL GENERAL LIGHTING IN ENCLOSED SPACES, 100 SQUARE FEET OR LARGER, WITH A CONNECTED LOAD EXCEEDING 0.5WSQFT. PROVIDE CONTROLS AS FOLLOWS: - LOCATE MANUAL DIMMING VIA DIMMING SWITCH - CENTRAL MANUAL DIMMING VIA DIMMING MODULE AT THE LIGHTING CONTROL PANEL AND - LOCAL DIMMING SWITCH - AUTOMATIC DAYLIGHT HARVESTING IN BOTH PRIMARY AND SECONDARY DAYLIGHT ZONES
79.	AUTOMATIC SHUT-OFF CONTROL FOR ALL INTERIOR LIGHTING TO INCLUDE OCCUPANCY SENSORS AND/OR TIMECLOCKS WITH OVERRIDE SWITCHES.
80.	50% REDUCTION IN STAIRWELL LIGHTING OUTPUT WHEN STAIRS ARE UNOCCUPIED. STAIRWELL LUMINAIRES SHALL INCLUDE BUILT-IN OCCUPANCY SENSOR AND AUTOMATIC DIMMING.
81.	50% REDUCTION IN PARKING GARAGE LIGHTING OUTPUT WHEN GARAGE IS UNOCCUPIED. GARAGE LUMINAIRES SHALL INCLUDE BUILT-IN OCCUPANCY SENSOR AND AUTOMATIC DIMMING. GARAGE LUMINAIRES IN A DAYLIGHT ZONES SHALL ALSO INCLUDE BUILT-IN PHOTOSENSOR.
82.	FIRE/SMOKE DAMPERS (FSD) SHALL REQUIRE A FIRE ALARM ADDRESSABLE CONTROL RELAY AT EACH DAMPER LOCATION FOR CONTROL FROM THE FIRE ALARM SYSTEM. THE 120VOLT CIRCUIT POWERING THE FSD SHALL BE ROUTED THROUGH THIS CONTROL RELAY TO EITHER OPEN OR CLOSE THE DAMPERS. IN ADDITION, THE FSD MAY HAVE END SWITCHES FOR MONITORING THE OPEN OR CLOSED FROM THE FIRE ALARM SYSTEM. IF SO, PROVIDE A FIRE ALARM ADDRESSABLE DUAL MONITORING MODULE TO WIRE EACH POSITION ON THE END SWITCH.

LUMINAIRE SCHEDULE									
LUMINAIRE SCHEDULE NOTES:									
REFER TO SPECIFICATION "265000 LIGHTING" FOR DETAILS ON TIER REQUIREMENTS. IN ABSENCE OF SPECIFICATION SECTION, REFER TO THE FOLLOWING TIER DEFINITIONS:									
TIER 1 (LEGACY CRI 90): FOR APPLICATIONS WHERE COLOR FIDELITY IS CRITICAL, SUCH AS MUSEUMS, GALLERIES, HIGH-END RESIDENTIAL, ETC. R9 VALUE: MINIMUM 80. TM30 VALUES: Rf>85, 95>Rg>105.									
TIER 2 (LEGACY CRI 80): FOR APPLICATIONS WHERE COLOR FIDELITY IS IMPORTANT, SUCH AS OFFICES, SCHOOLS, GENERAL INTERIOR AREAS, ETC. R9 VALUE: MINIMUM 30. TM30 VALUES: Rf>75, 92>Rg>110.									
TIER 3 (LEGACY CRI 70): FOR APPLICATIONS WHERE COLOR FIDELITY IS NOT CRITICAL, SUCH AS EXTERIOR PARKING AND AREA LIGHTING, WAREHOUSES, ETC. R9 VALUE: MINIMUM 20. TM30 VALUES: Rf>70, 80>Rg>120.									
TYPE	MANUFACTURER CATALOG NUMBER	DESCRIPTION	LIGHT SOURCE	TIER	DRIVER, TRANSFORMER	WATTAGE	VOLTAGE	DETAIL	
F1	LITHONIA 2BLT4-48L-ADSM-EZ1-LP940 OR APPROVED EQUAL	2'x4' ARCHITECTURAL, HIGH EFFICIENCY RECESSED LED TROFFER, STEEL HOUSING WITH WHITE POWDER COAT FINISH AND HIGHLY EFFICIENT SATIN WHITE LENS.	3500K	TIER 2	0-10V DIMMING LED DRIVER	38 W	UNIV		
F2	LITHONIA 2BLT2-40L-ADSM-EZ1-LP940 OR APPROVED EQUAL	2'x2' RECESSED LED FOR MOUNTINGS IN GRID CEILINGS. FIXTURE HOUSING COLOR SHALL CONSIST OF A HIGH REFLECTIVE MATTE WHITE POWER PAINT. DIFFUSER IS EXTRUDED ACRYLIC WITH A CURVED LINEAR PRISM.	3500K	TIER 2	0-10V DIMMING LED DRIVER	31.7 W	UNIV		
F3	PRUDENTIAL LIGHTING LDM4-4007 L04BR LD MVOLT G21 OR APPROVED EQUAL	NOMINAL 2' LONG SURFACE MOUNT LED LINEAR FIXTURE. FIXTURE SURFACE MOUNTS TO CEILING OR WALL.	3500K	TIER 2		18 W	UNIV		
F4	LITHONIA LDM4-4007 L04BR LD MVOLT G21 OR APPROVED EQUAL	4' RECESSED ROUND DOWNLIGHT WITH BLACK TRIM AND MATTE DIFFUSE FINISH	3500K	TIER 2	0-10V DIMMING LED DRIVER	8.6 W	UNIV		
F5	FINELITE HP-4-R-D-XFT-B-940-F-96LG-277-SC-FC-1%-C3F-FE-SW OR APPROVED EQUAL HSR LED4-S0-4'-SAL-TMW-SC-UNV-SUR-X3-DM01 OR APPROVED EQUAL	LINEAR RECESSED LED FIXTURE. 4' APERTURE, LENGTH AS SHOWN ON DRAWINGS.	3500K	TIER 2	0-10V DIMMING LED DRIVER	9.3 W / FT	UNIV		
F6	LITHONIA GRAD LINEAR GRID-LSL XFT MSL8 80CRI 40K ID1500LMF 80/20 MIN 1Z1 277 SCT F1/96A C110 OR APPROVED EQUAL	2' NOMINAL, AIRCRAFT CABLE SUSPENDED LINEAR LED LUMINAIRE, INDIRECT/DIRECT DISTRIBUTION, NOMINAL 9'Wx2'D IN PROFILE, DIE-FORMED STEEL HOUSING WITH WHITE POWDER COAT FINISH, AND DIFFUSE ACRYLIC LENS. PROVIDE WITH ENDCAPS, CANOPY KITS, AND POWER/IRON-POWER FEEDS AS REQUIRED FOR COMPLETE INSTALLATION. FIXTURES SHALL BE MOUNTED AT 10' AFF TO BOTTOM OF FIXTURE.	3500K	TIER 2	0-10V DIMMING LED DRIVER	12.75 W / FT	UNIV		
F7	LITHONIA CLY LED LINEAR L48-5000LM-SEF-SBLW-FDL-MVOLT-G21-80CRI-WH OR APPROVED EQUAL	4' LED STRIP LIGHT, EITHER SURFACE MOUNTED OR SUSPENDED DEPENDING ON CEILING. WHITE FINISH WITH ROUND LENS.	3500K	TIER 2		31.8 W	277 V		

Branch Panel: (E) PANEL A													
Location: STORAGE 115				Served From (E) MSB				Phases 1		A.I.C. Rating: 10KAIC Bus Rating			
Mounting: RECESSED				Volts: 120/240...				Wires 3		Main Type: MCB Main Rating: 100 A			
LC	Load Served	Amp	P	#	A (kVA)	B (kVA)	#	P	Amp	Load Served	LC		
--	MCB	100 A	2	1	0.00	0.00	2	1	20 A	(E) LTG MAIN FRONT	--		
			3			0.00		4					
			5					6					
			7					8					
			9					10					
			11					12					
			13					14					
			15					16					
			17					18					
			19					20					
			21					22					
			23					24					
Total Load:					0.00 kVA		0.00						
Total Amps:					0 A		0 A						
Load Classification				Conn. Load		Demand Factor		Code Demand		Panel Totals			
										Connected Load: 0.00 kVA			
										Connected Amps: 0 A			
										Code Demand Load: 0 kVA			
										Code Demand Amps: 0 A			
Notes:													

Branch Panel: (N) PANEL B													
Location: WORK AREA 103				Served From (E) MSB				Phases 1		A.I.C. Rating: 10KAIC Bus Rating 225 A			
Mounting: RECESSED				Volts: 120/240...				Wires 3		Main Type: MCB Main Rating: 200 A			
LC	Load Served	Amp	P	#	A	B	#	P	Amp	Load Served	LC		
~	(E) EXT LTG	20 A	1	1	0.00		2						
				3									
				5									
				7									
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				39									
				41									
				42									
Total Load:					0.00 kVA	0.00							
Total Amps:					0 A	0 A							
Load Classification				Conn. Load	Demand Factor	Code Demand	Panel Totals						
							Connected Load: 0.00 kVA						
							Connected Amps: 0 A						
							Code Demand Load: 0 kVA						
							Code Demand Amps: 0 A						
Notes:													

0 1/4" 1/2" 1"

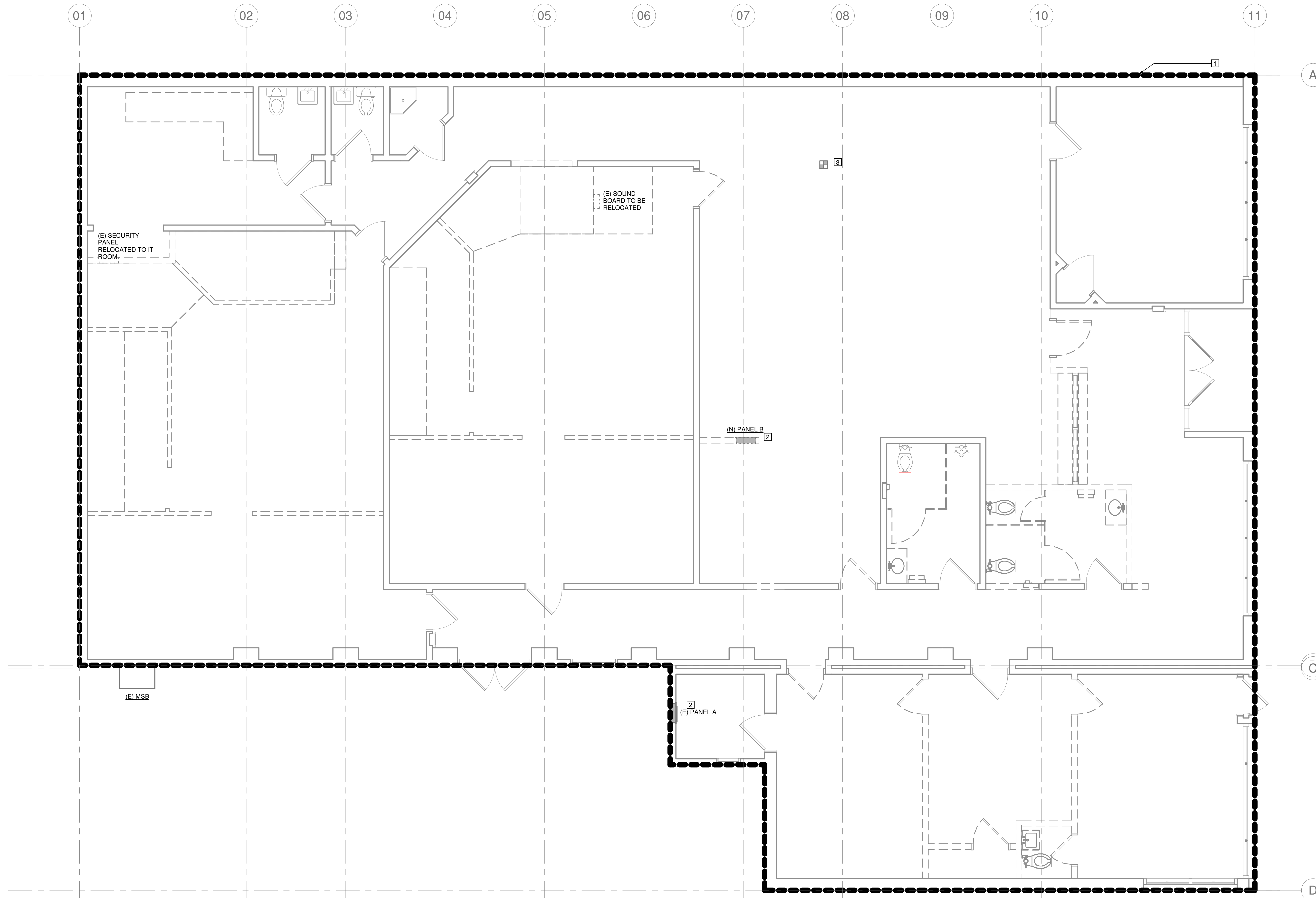
IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT - SCALE ACCORDINGLY

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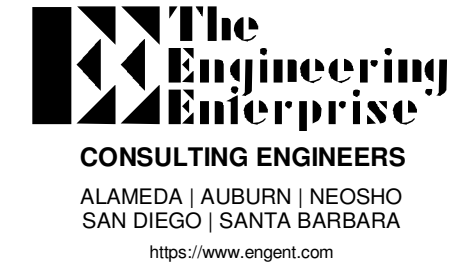
- 1 REMOVE ALL ELECTRICAL DEVICES IN THIS AREA, UON. REFER TO DEMOLITION NOTES ON THIS SHEET
- 2 EXT LTG CIRCUIT # 2 WILL REMAIN ON PANEL A.
- 3 EXT LTG CIRCUIT # 1 WILL REMAIN ON PANEL B.
- 4 DO NOT DEMOLISH POWER/ TELECOM POLE

DEMOLITION NOTES:

1. VERIFY IN FIELD ALL LINES, LEVELS, DIMENSIONS AND EXISTING CONDITIONS. THE INFORMATION ON THE DRAWINGS REGARDING EXISTING ELECTRICAL EQUIPMENT AND BRANCH CIRCUITS IS THE RESULT OF FIELD SURVEY AND IS ACCURATE TO THE BEST OF OUR KNOWLEDGE. IT IS INTENDED, HOWEVER, AS A GUIDE FOR USE IN VERIFICATION ONLY.
2. ANY EXISTING ELECTRICAL EQUIPMENT IN THE AREA OF NEW CONSTRUCTION NOT SHOWN ON THE EXISTING PLANS SHALL BE DOCUMENTED AND SUBMITTED TO THE ENGINEER FOR DETERMINATION OF ACTION REQUIRED.
3. CARE SHALL BE TAKEN IN ORDER TO IDENTIFY AND PROTECT ALL EXISTING ELECTRICAL WORK THAT IS TO REMAIN.
4. ALL EXISTING ELECTRICAL EQUIPMENT SHOWN ON THE PLANS FOR NEW WORK IS TO BE REUSED DURING SOME PHASE OF THE NEW CONSTRUCTION AND REQUIRE SOME SPECIAL CONSIDERATION.
5. THE ELECTRICAL CONTRACTOR SHALL REVISE EXISTING PANEL SCHEDULE TO CORRESPOND TO ACTUAL CONDITIONS AFTER ALL DEMOLITION AND NEW WORK IS COMPLETED.
6. ALL EXISTING ELECTRICAL EQUIPMENT THAT SHALL BE REMOVED AND TURNED OVER TO BUILDING OWNER SHALL BE DETERMINED BY ELECTRICAL CONTRACTOR PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK.
7. REMOVE ALL ABANDONED CONDUIT AND WIRE ABOVE CEILINGS.
8. WHEN AN ELECTRICAL EQUIPMENT OR DEVICE IS REMOVED FROM AN EXISTING WALL OR CEILING WHICH IS TO REMAIN, PATCH ABANDONED OPENINGS TO MATCH EXISTING FINISH.
9. EXISTING CONDUIT FEEDS UP THROUGH FLOOR SHALL BE CUT OFF AND PLUGGED FLUSH WITH FLOOR WHERE EXISTING WALLS, ETC. ARE REMOVED. REMOVE CONDUCTORS FROM THE POINT BACK TO LAST OUTLET REMAINING IN SERVICE.
10. IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS OF EXISTING CIRCUITS AND ADJUST CIRCUIT NUMBERS ACCORDING TO EXISTING CONDITIONS IF REQUIRED.
11. EXISTING CIRCUITS THAT ARE REMOVED AND NOT RE-USED SHALL BE IDENTIFIED ON PANEL SCHEDULE AS "SPARE" AND CIRCUIT BREAKER LEFT IN "OFF" POSITION.
12. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO REMOVAL OF EXISTING ELECTRICAL EQUIPMENT AND TURN OVER REMOVED EQUIPMENT THAT THE OWNER REQUESTS, IN AS-FOUND CONDITION. EQUIPMENT THAT IS TO BE TURNED OVER SHALL BE BOXED AND TAGGED TO IDENTIFY THE SPECIFIC EQUIPMENT. THE EQUIPMENT TO BE TEMPORARILY REMOVED DUE TO THE CONSTRUCTION SHALL BE CLEANED AND RE-INSTALLED IN ITS ORIGINAL CONDITION OR AS REQUIRED.
13. WHERE EXISTING WALLS HAVE BEEN REMOVED, AND THERE ARE EXISTING CONDUIT FEEDS WHICH HAVE BEEN CUT OFF AND CAPPED FLUSH WITH THE FLOOR. IDENTIFY AND DIMENSION ALL SUCH CONDUITS ON THE "AS-BUILT" DRAWINGS.
14. IF ANY EQUIPMENT THAT IS SCHEDULED TO REMAIN IN OPERATIONS DAMAGED BY THE CONTRACTOR, IT SHALL BE REPLACED TO ITS ORIGINAL CONDITION SATISFACTORY TO THE OWNER AT CONTRACTOR'S EXPENSE.
15. WHERE DRAWINGS INDICATE EXISTING ELECTRICAL EQUIPMENT OR DEVICES TO BE RELOCATED, OR BE RE-USED, REFURBISH THEM. CLEAN SUCH ITEMS AND NOTIFY ARCHITECT OF ANY DEFECTS IN SUCH INSTALLATIONS. REPAIR ANY EXISTING DAMAGE, AND ANY DAMAGE CAUSED BY DEMOLITION OR CONSTRUCTION PERFORMED UNDER THIS CONTRACT.
16. BEFORE DEMOLITION, OFFER LIGHTING FIXTURES, WIRING DEVICES, PANELBOARDS, AND EQUIPMENT TO BE REMOVED TO THE OWNER. IF OWNER CHOOSES TO RETAIN THESE ITEMS, REMOVE THEM CAREFULLY TO PREVENT DAMAGE AND TURN THEM OVER.
17. REMOVE WIRING DEVICES, FIXTURES, COMPONENTS, ELECTRICAL EQUIPMENT, AND BOXES NOT REQUIRED TO REMAIN IN SERVICE IN REMODELED AREAS WHEN THIS PROJECT IS COMPLETE.
 - a. REMOVE WIRE, CONDUITS, AND BOXES FOR SUCH DEVICES BACK TO SOURCE. WHERE A CIRCUIT IS INTERRUPTED BY SUCH REMOVAL OF A DEVICE OR FIXTURE FROM THAT CIRCUIT, INSTALL WIRE AND CONDUIT AS REQUIRED TO RESTORE SERVICE TO THE REMAINING DEVICES AND FIXTURES ON THAT CIRCUIT.
 - b. WHERE WORK IS NOT POSSIBLE WITHOUT DISTURBING AREAS NOT BEING RENOVATED, CONSULT WITH THE ENGINEER BEFORE PERFORMING THE WORK.
 - c. LEAVE IN PLACE CONCEALED CONDUIT LOCATED IN PARTITIONS OR HARD CEILING NOT TO BE DEMOLISHED. REMOVE CONDUCTORS FROM SUCH CONDUITS. USE PERMANENT FELT TIP MARKER PENS TO LABEL SUCH CONDUITS AS "ABANDONED" AT EACH END, AND NOTE WHERE IT REEMERGES FROM THE CONCEALED AREA. CAP SUCH CONDUITS.
 - d. WHERE ELECTRICAL CIRCUITS, FEEDERS, OR WIRING RUNS THROUGH A SPACE TO BE DEMOLISHED, MAINTAIN THEM. REPAIR ANY DAMAGE CAUSED BY DEMOLITION OR CONSTRUCTION PERFORMED UNDER THIS CONTRACT.
 - e. WHERE ELECTRICAL CIRCUITS, FEEDERS, OR WIRING RUNS SERVING OTHER AREAS ARE SERVED FROM THE SPACE TO BE DEMOLISHED, RECONNECT THEM TO OTHER SOURCES AS REQUIRED TO MAINTAIN SERVICE TO THE EXISTING DEVICES.

LIONAKIS

CONSULTANT



SEAL



PROJECT

Tuolumne County - Washington Street
TI

60 N Washington St, Sonora, CA 95370

CLIENT

Owner

ISSUED

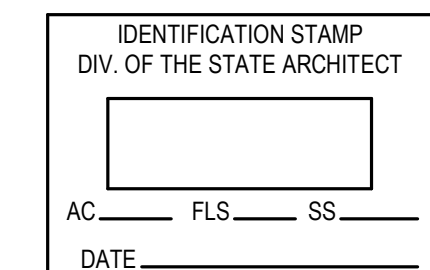
MARK	DATE	DESCRIPTION
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MANAGEMENT

LIONAKIS PROJECT NO. 23116

CLIENT PROJECT NO.

AGENCY



TITLE

OVERALL ELECTRICAL
DEMOLITION PLAN

SHEET

E-130

0 1/4" 1/2" 1"

IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

C

B

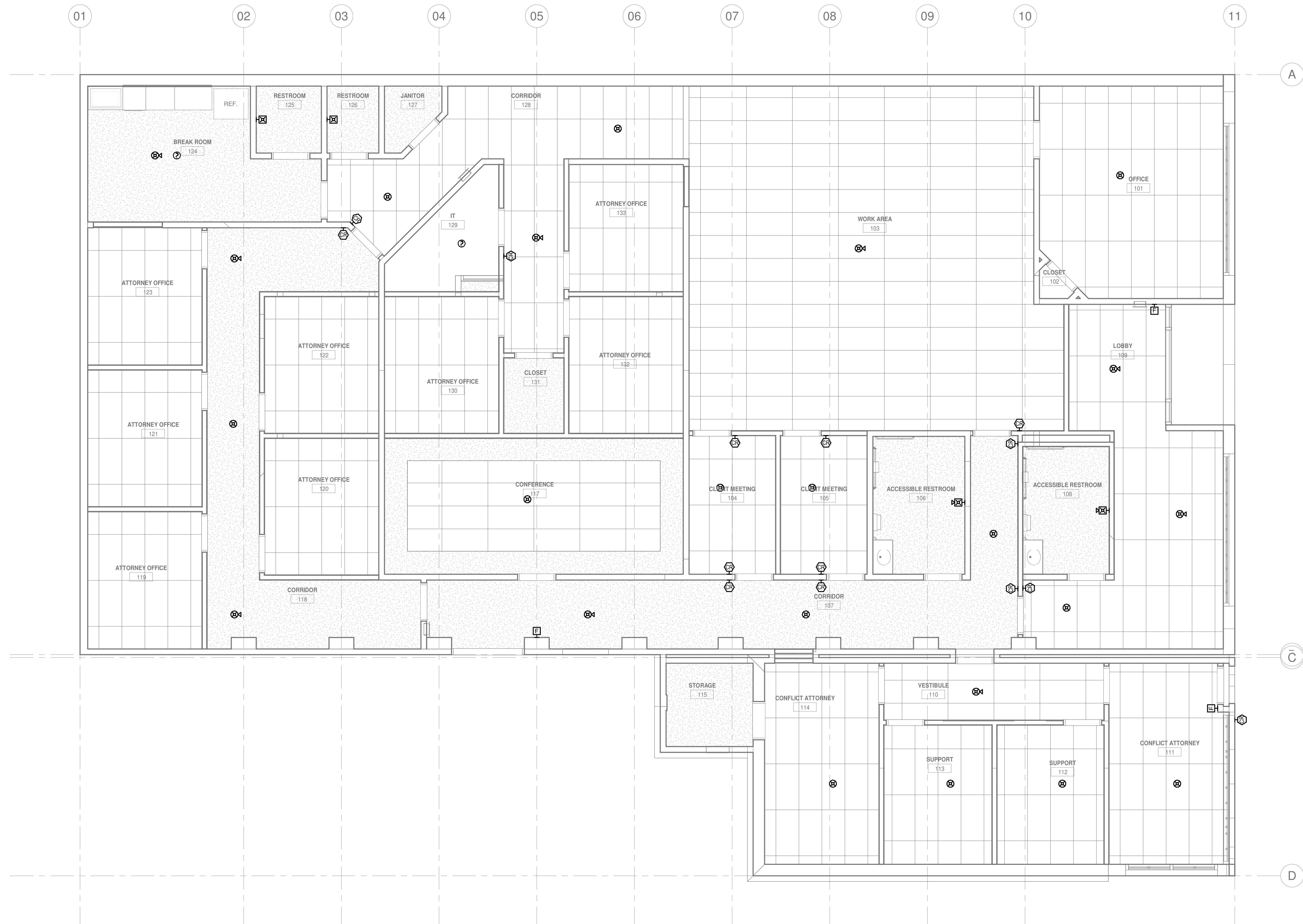
C:\Users\jason\Documents\Tulame County - Washington Street\11_02_jason\jason\KPSB.rvt

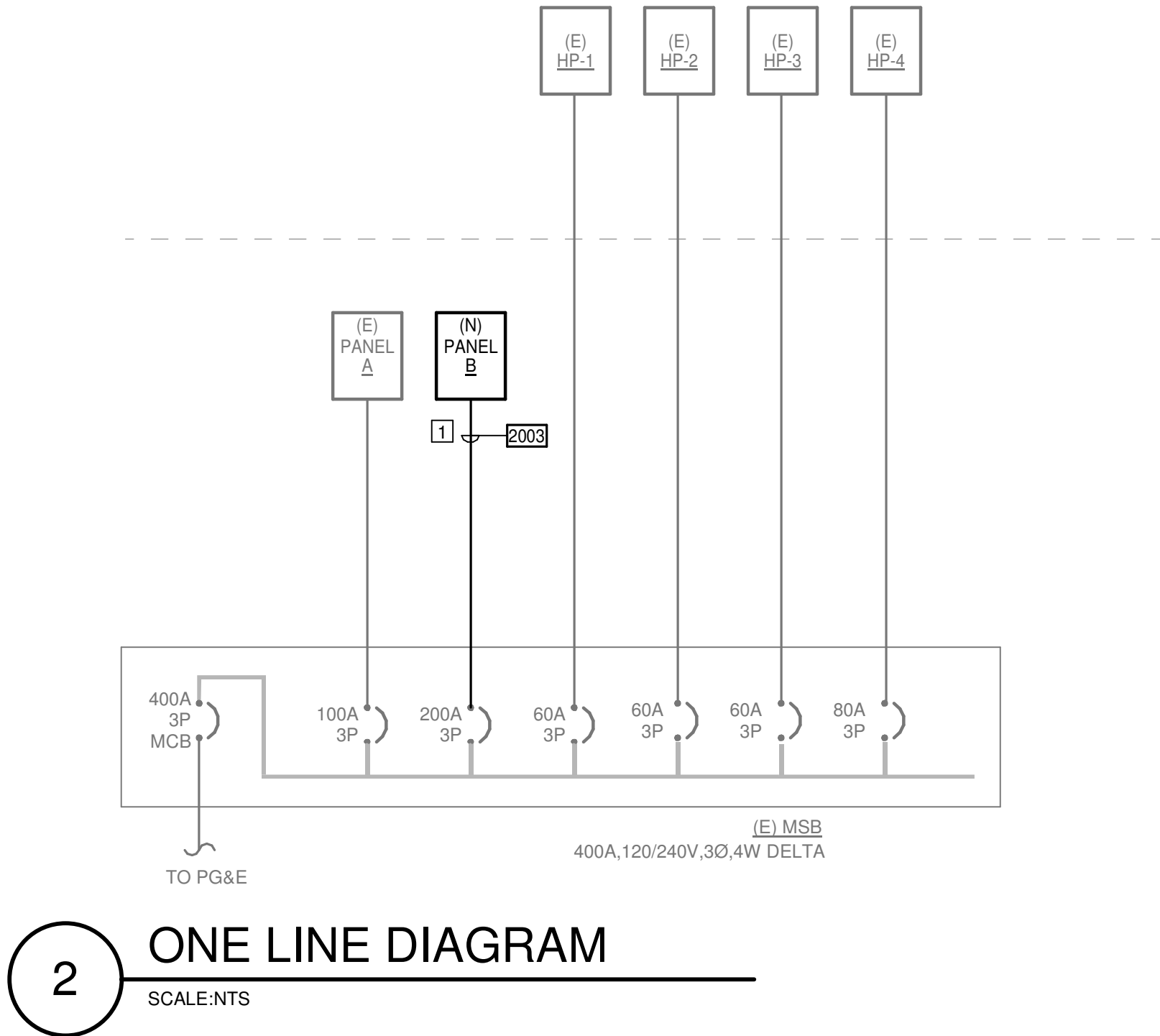
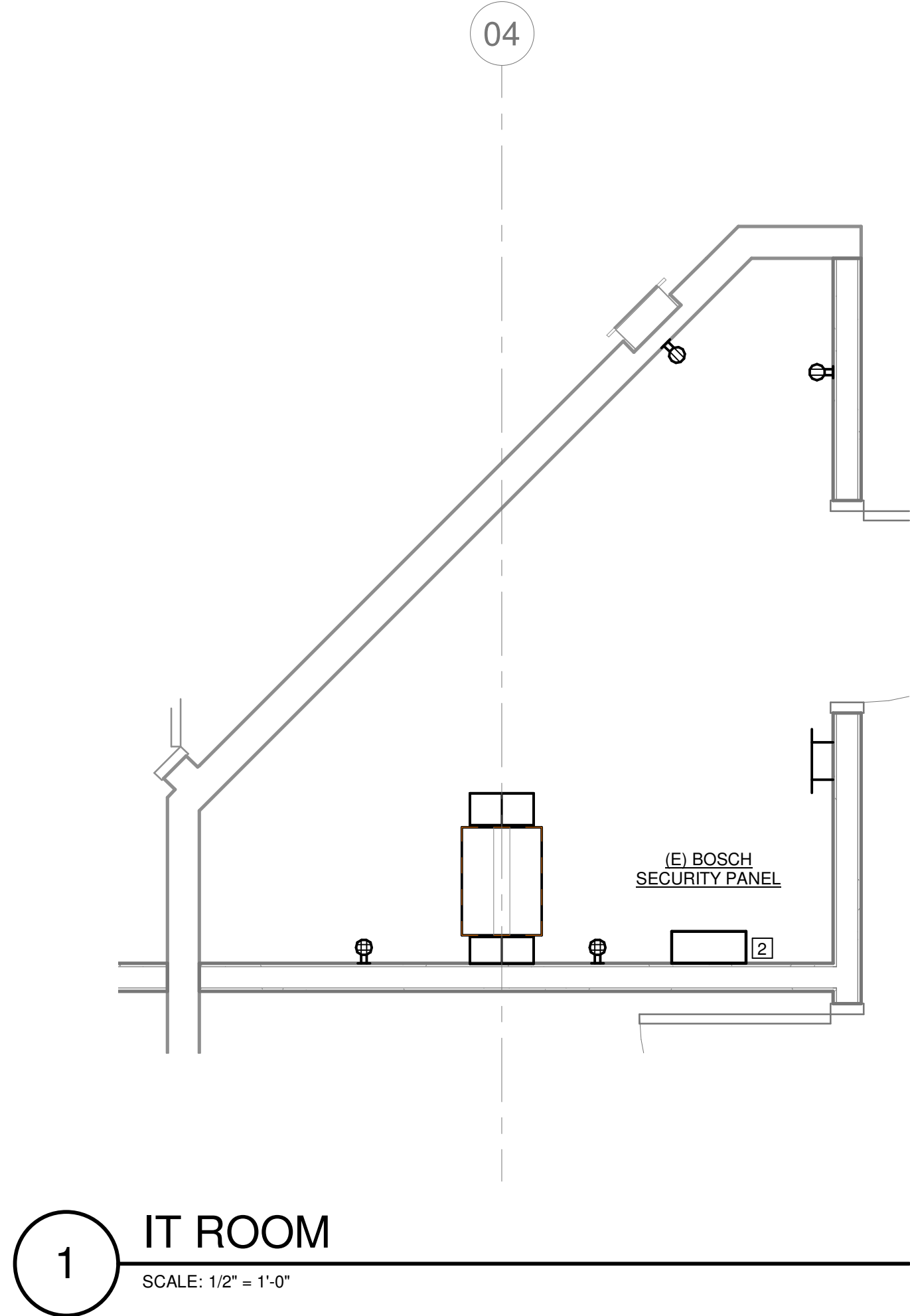
7/27/2023 2:46:23 PM





E-330





NUMBERED SHEET NOTES

- 1 NEW PANEL REPLACES EXISTING PANEL WITH SAME NAME.
- 2 PROVIDE 120V POWER TO SECURITY PANELS

FEEDER SCHEDULE

FEEDER SCHEDULE GENERAL NOTES

1. COPPER FEEDER SIZES SHOWN IN THIS SCHEDULE ARE BASED ON CONDUCTORS WITH THHN/THWN-2 INSULATION IN EMT CONDUIT.
2. FEEDER SIZES SHOWN IN THIS SCHEDULE ARE BASED ON AN AMBIENT TEMPERATURE OF 30 DEGREES C (86 DEGREES F).
3. FEEDERS CONSISTING OF MULTIPLE SETS OF CONDUCTORS AND CONDUITS ARE TO BE PROVIDED WITH THE INDICATED SIZE GROUND CONDUCTOR IN EACH CONDUIT.
4. PER CEC ARTICLE 110.14, ALL FEEDERS SIZED AT #2 AWG OR LESS ARE CALCULATED PER 60 DEGREE TABLE. FEEDERS GREATER THAN #2 AWG ARE RATED 75 DEGREE.

FEEDER SCHEDULE REMARKS

- A. OVERSIZED 150% NEUTRAL, SUITABLE FOR SERVICE FROM K-13 RATED TRANSFORMERS.
- B. FEEDER APPROVED FOR USE WITH SEPARATELY DERIVED SYSTEM, GROUNDING AS REQUIRED BY CEC ARTICLES 240 AND 250.
- C. FEEDER GROUND AND BONDING JUMPER SHALL HAVE AN AREA NOT LESS THAN 12.5% OF THE AREA OF THE LARGEST PHASE CONDUCTOR.
- D. INCREASE CONDUIT TO THE NEXT LARGER TRADE SIZE WHEN USING SCHEDULE 40 OR 80 PVC CONDUIT.
- E. PER CEC SECTION 240.4(B), FOR OVERCURRENT DEVICES RATED 800A OR LESS, THE NEXT HIGHER STANDARD OVERCURRENT DEVICE RATING (ABOVE THE AMPLACITY OF THE CONDUCTORS) CAN BE USED. RULE CAN NOT BE APPLIED IF 100% RATED BREAKERS ARE USED.
- F. PER CEC 240.21(C), THE PROVISIONS OF 240.4(B) SHALL NOT BE PERMITTED FOR TRANSFORMER SECONDARY CONDUCTORS.

FEEDER TAG	FEEDER DESCRIPTION	CONDUIT	CONDUCTORS		SEPARATELY DERIVED SYSTEM		REMARKS
			PHASE/NEUTRAL	GROUND	GROUNDING ELECTRODE	BONDING JUMPER	
2003	200 AMP, 3 WIRE	1-2.00"	3 #3/0 CU	1 #6 CU	-	-	-



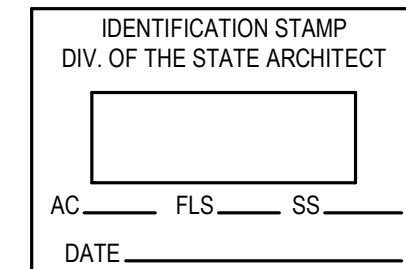
Tuolumne County - Washington Street
TI

60 N Washington St, Sonora, CA 95370

Owner

MARK	DATE	DESCRIPTION
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LIONAKIS PROJECT NO: 23116
CLIENT PROJECT NO:



POWER ONE LINE
DIAGRAM AND
ENLARGED ROOMS

E-501



Department of Public Works

Kim MacFarlane, P.E.
Director

48 W. Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
209.533.5601
www.tuolumnecounty.ca.gov

ADMINISTRATION

Assistant to the
Department Head
Emma Hawks
209.694.2718

AIRPORTS

Airport Manager
Drew Njirich
209.533.5685

BUSINESS

Business Manager
Janelle Kostlivy
209.533.5972

ENGINEERING

Supervising Engineer
Blossom Scott-Heim, P.E.
209.533.5904

FLEET SERVICES

Fleet Services Manager
Mike Young
209.536.1622

GEOGRAPHIC INFORMATION SYSTEMS

GIS Coordinator
Madeline Amlin
209.533.6592

ROAD OPERATIONS

Superintendent of
Roads and Fleet
Mike Cognetti
209.533.5609

SOLID WASTE

209.533.5588

SURVEYING

County Surveyor
Warren Smith, L.S.
209.533.5626

TO: Historic Preservation Review Commission

FROM: Juan Maya, Engineer I
Blossom Scott-Heim, P.E., Supervising Engineer

DATE: July 7, 2023

RE: Jamestown Gateway and Main Street Revitalization Project No. 1756

REQUESTED ACTION

Presentation on the Jamestown and Main Street Revitalization Project and consideration of selecting the tree variety planted on Main Street and providing direction on the gateway sign.

BACKGROUND INFORMATION

The California Department of Transportation (Caltrans) developed the Clean California Local Grant Program (CCLGP) through which funds go to local communities to beautify and improve local streets and roads, tribal lands, parks, pathways, and transit centers. Through the combination of adding beautification measures and art in public spaces along with the removal of litter and debris, this effort enhances communities and improves spaces for walking and recreation.

The Department of Public Works applied for three CCLGP grants in early 2022 and was successful in being awarded grant funding for all three projects:

- Don't Trash Tuolumne County Campaign
- Jamestown Gateway and Main Street Revitalization Project
- Groveland Vibrant Connections to Public Spaces Project

Jamestown, a former California Gold Rush Town, is located on the Golden Chain Highway (SR 49/SR 108) corridor making it a prime tourist destination. This project builds on previous efforts to create a safe and pleasant pedestrian experience for visitors and residents of Jamestown.

The Jamestown Gateway and Main Street Revitalization Project will enhance the accessibility, order, and cultural connection of Jamestown's downtown Main Street. Improvements will include repairing or replacing damaged sections of sidewalk and improving sidewalk connections and ADA access. To further protect the sidewalk, nuisance trees will be replaced with new shade trees. Improvements to Rocca Park will be comprised of replacing fencing, new park benches, improving landscaping, wildlife-resistant trash receptacles, and ADA enhancements. A mural will be installed on a highly visible building on Main Street to beautify the downtown core with local art. Lastly, a gateway sign welcoming visitors into Jamestown will be installed at the intersection of Main Street and Golden Chain Highway (SR 49/SR 108). All grant funding must be expended by June 30, 2024.

The environmental studies phase of the project is currently under development. The project will be exempt from the National Environmental Policy Act (NEPA) because it is a state funded project. California Environmental Quality Act (CEQA) is underway and is expected to be a Categorical Exemption (CE).

The preliminary design plans show the areas where work is proposed. The style of the sidewalk repair/replacement will match the 2009 Jamestown Beautification Project, using a tan colored "timber" stamped concrete pattern or red colored "brick" stamped concrete pattern, as appropriate. Driveway entrances will be replaced, within the work areas, with concrete aprons that meet ADA standards.

Within Rocca Park the fencing around the playground and restrooms will be replaced with black iron fencing, matching the fencing at many other County facilities, such as the Columbia Pool. The failing retaining wall along Smoke Street will be replaced and two streetlights will be added in the parking lot. The sod and irrigation system will be replaced, park benches will be added, and a new ADA accessible drinking fountain will be installed.

The Jamestown Promotion Club Mural Subcommittee is proposing a mural on the side of the building at 18211 Main Street and Seco Street. The Mural was presented to the Historic Preservation Review Commission on November 2, 2015. The Subcommittee has been selling bricks as a fundraiser and the project will also include a brick walkway immediately in front of the mural.

New trees will provide much needed shade and will be planted such that the roots will not damage the new sidewalks. The consultant Landscape Architect recommended varieties of trees that are appropriate for street planting; this list was cross referenced with the Jamestown Community Plan and we are proposing to use one of the following:

1. "Autumn Glory" or "October Glory" Red Maple (*Acer rubrum*)
2. Crape Myrtle (*Lagerstroemia*)
3. Raywood Ash (*Fraxinus Oxycarpa*)

The "triangle" at south Main Street and Highway 49 will be landscaped with drought tolerant plants and a gateway sign will be installed, all of which must meet the Caltrans Encroachment Permits Manual requirements, Exhibit A. Gateway signs must be placed as far as practical from the traveled way or edge of roadway, while still remaining visible. The proposed location for all gateway monuments must be reviewed by Caltrans for safety and environmental considerations prior to approval.

RECOMMENDATION

It is recommended that your Commission select the tree variety planted on Main Street and provide direction on the gateway sign.

Exhibit A

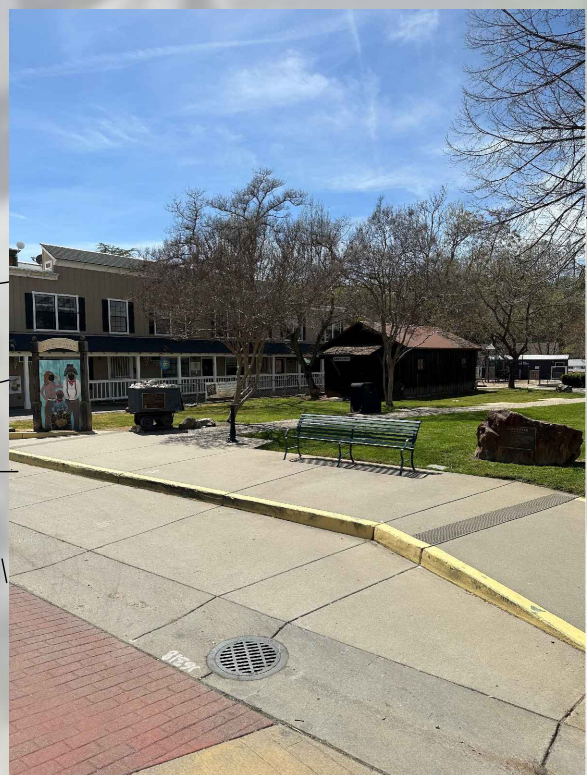
Proposed gateway monuments must:

- Incorporate the name, logo, graphic, or officially adopted seal or slogan of the city, county, or incorporated town.
- Be a freestanding structure or sign.
- Not be integrated with, or placed upon a required engineered transportation feature.
- Not make use of or simulate colors or combinations of colors usually reserved for official traffic control devices described in the California Manual on Uniform Traffic Control Devices.
- Not create a distraction to transportation system users. For example, it should be large enough to interpret at highway speed, but not be so large that it demands attention from the motorist.
- Not include illumination (such as blinking or intermittent lights) that impairs the vision of, or distracts transportation system users. Other lighting may be permitted. Lighting may be allowed on existing structures only when approved by Headquarters Division of Maintenance-Structure Maintenance and Investigations.
- Be located where required maintenance can be safely performed as specified in the encroachment permit, the maintenance agreement, and in conformance with Caltrans' procedures.
- Be appropriate to its proposed setting.
- Be a proper size and in scale with its surroundings. The maximum size shall fit within 353 cubic feet. The width shall not exceed 20 feet and the height shall not exceed 18 feet above existing grade
- Be composed of materials that are durable for the projected lifespan.
- Be fully funded for design, installation, maintenance, restoration, and removal by the public agency for its projected lifespan.
- Conform to provisions of the California Outdoor Advertising Act .
- Not imitate, obscure, or interfere with traffic control devices.
- Not interfere with airspace above the roadway.
- Not be placed within State highway right-of-way upon trees, rocks or other natural features.
- Not adversely affect existing structures, drainage patterns or stormwater runoff quality, landscaping or natural vegetation.
- Not include reflective or glaring surface finishes.
- Not include moving elements (kinetic art) or simulate movement.
- Not restrict sight distance.
- Not display symbols or icons such as flags, logos, or commercial symbols.
- Not display text that makes special interest, private, religious, or political statements, or includes business names, trade names, jingles, or slogans.

- Be designed to minimize ongoing maintenance needs. Caltrans-approved protective graffiti coatings may be required if appropriate.
- Not display telephone numbers, street addresses, or internet addresses.
- Not require the removal of trees or other vegetation for visibility, or harm trees during construction. Pruning of tree branches or roots, and removal of shrubs should be avoided, and will be allowed only with written approval of the district landscape architect.
- Not negatively impact existing highway features, including existing signs, irrigation systems, necessary drainage patterns, and facilities.
- Not protrude or span over travel lanes or roadbed.



PROPOSED LOW PROFILE
RETAINING WALL



PROPOSED ADA FOUNTAIN
NEXT TO EXISTING FOUNTAIN



PROPOSED MURAL LOCATION



PROPOSED RAMP FOR
ADA COMPLIANCE

END STA:25+95.23
N=2170099.5343
E=6584012.2853

STA:24+50.00
END WORK

BEGIN STA:10+00.00
N=2168652.0790
E=6583416.2560

STA:14+27.14
BEGIN WORK

PRELIMINARY
FOR REVIEW
NOT FOR CONSTRUCTION
DATE:



SHEET OF 1 1	
PLANS APPROVAL DATE N/A	
POST MILE TO PROJECT N/A	
ROUTE 10	
COUNTY TUOLUMNE	
DIST 10	
REGISTERED CIVIL ENGINEER N/A	
SIGNATURE	
TUOLUMNE COUNTY PUBLIC WORKS 2 SOUTH GREEN STREET SONOMA, CALIFORNIA 95070 PHONE: (707) 938-8881 FAX: (707) 938-8882	
GEOMETRIC APPROVAL DRAWING IMPROVEMENT PLANS FOR JAMESTOWN GATEWAY AND MAIN STREET REVITALIZATION PROJECT TUOLUMNE COUNTY, CALIFORNIA	
JOB NO. DATE DR BY CK BY BRIDGE NO.	
SHEET NUMBER 1 OF 1 SHEETS	



HISTORIC PRESERVATION REVIEW COMMISSION

TERRY BREJLA, CHAIR
LISA DEHART, VICE-CHAIR



2 South Green Street
Sonora, CA 95370
209 533-5633

COMMISSIONERS

Jeannette Simons
Sharon Marovich
Kurt Bryant
Aaron Rasmussen
B.Z. Smith
Krystal Hodson
Chuck LaKamp

HISTORIC PRESERVATION REVIEW COMMISSION MEETING MINUTES MONDAY, APRIL 3, 2023

PRESENT: Chair, Terry Brejla, Vice-Chair Lisa DeHart, and Commissioners Sharon Marovich, Aaron Rasmussen, Kurt Bryant and Jeannette Simons

ABSENT: Commissioners B.Z. Smith, Krystal Hodson and Chuck LaKamp

STAFF: Quincy Yaley, Community Development Department Director, Dave Ruby, Planning Manager, Eric Erhardt, Assistant CAO, Taryn Vanderpan, Administrative Technician

CALL TO ORDER/WELCOME:

Chair Brejla called the meeting of April 3, 2023, to order at 4:00 p.m.

Chair Brejla asked staff to roll call the Commission.

Chair Brejla: Present
Vice-Chair DeHart: Present
Commissioner Smith: Absent
Commissioner Rasmussen: Present
Commissioner Bryant: Presesnt
Commissioner Marovich: Present
Commissioner Simons: Present
Commissioner Hodson: Absent
Commissioner LaKamp: Absent

Chair Brejla indicated that there was a quorum.

PUBLIC FORUM: 15 minutes

Chair Brejla opened the 15-minute public comment period, during which anyone wishing to could come forward and address the Commission on any item not on the Agenda.

Seeing no one who wished to address the Commission at this time, Chair Brejla closed the public comment period.

COMMISSION BUSINESS:

A. Reports from Staff and Commissioners

None

B. Vote for the removal of Chuck LaKamp and Krystalyn Hodson as members of the Historic Preservation Review Commission due to three unexcused absences and no correspondence with staff since the appointment of their terms; and to notify the clerk of the Board of Supervisors in writing to request that the BOS declare vacancies and proceed to fill the positions.

Commissioner Marovich raised concerns with voting to remove Commissioners that were appointed by the Board of Supervisors.

A discussion ensued on the Board of Supervisors Commission and Committee Handbook.

It was determined by consensus to have the item brought before the Board of Supervisors without a vote from the Commission.

PUBLIC HEARING:

Presentation on future use of the Historic Yaney Street Court House and Elevator.

Quincy Yaley, Community Development Department Director, gave an overview of the Tuolumne County Ordinance Code, Section 2.38.090. She noted that this Section states that the Historic Preservation Review Commission (HPRC) act as an advisory agency for projects on County owned property involving Cultural Resources.

Eric Erhardt, Tuolumne County Assistant CAO, gave a PowerPoint presentation on the proposed project. He noted that staff is proposing the Historic Court House be utilized for the Board of Supervisors, Office of County Counsel, County Administrators Office, Offices of Emergency Services, and the Human Resource Department, which are all departments that serve the Board of Supervisors. He informed the Commission that to achieve the proposed use, an addition of an Elevator and a secondary staircase to the building would be needed.

Aaron Hyland, Historic Architect, reviewed the blueprints of the proposed updates to the Court House.

Mr. Erhardt affirmed that the proposed changes would maintain the building's historic and structural interior integrity. He noted that once the project finished its review with the Commission, it would move on to the Board of Supervisors with the Commissions' comments or proposed recommendations. He explained that if the Board of Supervisors approves the proposed changes, staff would move forward with obtaining construction documents for the elevator. He indicated that there is 2.5 million dollars in funding in the budget allocated for the construction of the elevator and to issue a request for proposal (RFP) for project blueprints for the interior remodel outlined in the presentation.

Commissioner Marovich asked if a secondary staircase would be needed if there was a lower occupancy load.

Brandon Rachac, Lionakis Project Manager, responded that multi-story buildings are required to have two forms of exits despite occupancy loads.

Commissioner Marovich raised concern with the proposed court room renovations, located on the third floor. She explained that this specific room is a character-defining space, which defines a good portion of what the building was used for. She noted the proposed changes would require major interior wall demolition, and the removal of the jury box and judge's bench. She questioned staff how they intend to maintain the historic nature of the Courthouse with the removal of the most central focus of the building.

A discussion ensued between the Commission and staff on the proposed interior changes to the building.

Commissioner Marovich expressed frustration that staff did not provide the Commission with a Historical Structure Report, which analyzes if the building can withstand the proposed interior remodel.

Mr. Erhardt replied that the Historical Structure Report would be contingent on what the final adopted floor plan will be.

Commissioner Marovich requested that the Commission be provided a tour of the Historic Court House.

Chair Brejla raised concerns with making any decisions with limited facts being presented.

Commissioner Marovich asked where the CEQA documents were for the proposed project.

Ms. Yaley indicated that staff is still evaluating the CEQA determination.

Vice-Chair DeHart raised issue with limited materials being presented to the Commission. She questioned staff if the State Historic Preservation Office had been consulted to ensure the proposed changes would affect the eligibility of the structure.

Mr. Erhardt responded that they have not reached out to the State.

Vice-Chair Dehart replied that once a final design is in place, the State Historic Preservation Office needs to be consulted.

Chair Brejla opened the public comment period and asked if there was anyone who wished to speak in favor of the proposed project. Seeing no one, she asked if there was anyone who wished to speak in opposition of the proposed project. Seeing no one, she asked if there was anyone who wished to speak neutrally on the proposed project.

A member of the public had issues with staff bringing projects forward in a rushed fashion. She noted that there were valid concerns raised by the Commission that needed to be addressed by staff before the project moved forward to the Board of Supervisors.

David Wynn, a member of the public, stated there was not enough information provided for the Commission to make any informed comments to the Board. He suggested less impact to the third floor if the Assessor's and Recorders offices were relocated to the Court House.

Chair Brejla asked if there was anyone else who wished to speak neutrally. Seeing no one, she closed the public comment period and referred the item back to the Commission.

It was moved by Commissioner Marovich and seconded by Commissioner Simons to postpone a Commission recommendation for the proposed project until there is completed Historic Structure Reports, a walkthrough of the Historic Court House by the Historic Preservation Review Commission, and an additional presentation by staff addressing the concerns raised at today's meeting.

Chair Brejla: Aye

Vice-Chair DeHart: Aye

Commissioner Smith: Absent

Commissioner Rasmussen: Aye

Commissioner Bryant: Aye
Commissioner Marovich: Aye
Commission Simons: Aye
Commissioner Hodson: Absent
Commissioner LaKamp: Absent

Chair Brejla called for the vote. 6; Ayes, 0; Noes, 0; Abstain

Motion carried: 6 – 0 – 0 with Commissioners Smith, Hodson, and LaKamp being absent.

ADJOURNMENT:

Chair Brejla adjourned the meeting

Respectfully,

Quincy Yaley, AICP
Community Development Department Director

S:\Commissions\HPRC\2022\Minutes\9-12-2022 Minutes .doc



HISTORIC PRESERVATION REVIEW COMMISSION

TERRY BREJLA, CHAIR
LISA DEHART, VICE-CHAIR



2 South Green Street
Sonora, CA 95370
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Chuck LaKamp

HISTORIC PRESERVATION REVIEW COMMISSION MEETING MINUTES MONDAY, MAY 9, 2023

- PRESENT:** Vice-Chair Lisa DeHart, and Commissioners Sharon Marovich, Aaron Rasmussen, Kurt Bryant and Jeannette Simons
- ABSENT:** Chair, Terry Brejla, Commissioners B.Z. Smith, Krystal Hodson and Chuck LaKamp
- STAFF:** Quincy Yaley, Community Development Department Director, Dave Ruby, Planning Manager, Eric Erhardt, Assistant CAO, Taryn Vanderpan, Administrative Technician

CALL TO ORDER/WELCOME:

Vice-Chair Dehart called the meeting of May 9, 2023, to order at 4:00 p.m.

PUBLIC FORUM: 15 minutes

Vice-Chair DeHart opened the 15-minute public comment period, during which anyone wishing to could come forward and address the Commission on any item not on the Agenda.

A member of the public addressed the Commission regarding expectations on meeting attendance.

Vice-Chair DeHart asked if there was anyone else who wished to speak. Seeing no one, she closed the public comment period.

COMMISSION BUSINESS:

A. Reports from Staff and Commissioners

Dave Ruby, Planning Manager, introduced Tamera Blankenship as the new Housing Coordinator for the Community Development Department. He informed the Commission that the removal of Commissioners Hodson and LaKamp would be going before the Board of Supervisors on May 16, 2023.

Commissioner Marovich notified the Commission that May is National Preservation month. She revealed that on Tuesday, May 2, 2023, the Board of Supervisors voted to have May be National Preservation month.

PUBLIC HEARING:

Presentation on future use of the Historic Yaney Street Court House and Elevator.

Eric Erhardt, Tuolumne County Assistant CAO, informed the Commission that on April 10th and 14th, staff provided tours of the Historic Court House. He gave an updated PowerPoint presentation

addressing the concerns raised at the previous HPRC meeting. He reported that the County is required to comply with the American Disabilities Act which necessitates the need for an elevator and a secondary fire egress route. He mentioned that if the fire escape currently located at the front of the Historic Courthouse becomes accessible, a secondary staircase would not be necessary. He noted that staff is working with the Historical Architect to reorganize the space to reduce the impacts to the Courthouse.

Commissioner Marovich indicated that any additions should be different, in order to clearly identify the historic footprint, but not be incompatible with the historic design.

Commissioner Bryant expressed appreciation, stating the proposed renderings subtly articulated the differences between the additions and the original Courthouse.

Mr. Erhardt reviewed the project's path ahead, explaining that if the project was approved by the Board, staff would move forward with construction documents for the elevator and issue an RFP for architectural documents for the interior remodel.

Vice-Chair DeHart expressed concern with the project being piecemealed, noting the allocated 2.5 million dollars would not be sufficient to complete the totality of the project.

Mr. Erhardt indicated that the County would not enter into a contract for remodel construction without the total funds necessary for the work.

Vice-Chair DeHart suggested consulting with the State Historic Office, which would better assist the County to determine if Federal funding sources were available for the proposed project.

Commissioner Simons thanked Mr. Erhardt for the insightful tour of the Historic Court House. She raised concerns that the information provided by staff is not sufficient for the Commission to give guidance to the Board of Supervisors.

Commissioner Marovich shared in Commissioner Simons concerns. She expressed frustration that the proposed project has not been reviewed under CEQA. She indicated staff does not know what the full project will entail, or the projected final cost.

Mr. Erhardt responded that staff needs to identify the use, request an RFP to attain remodel plans, which when completed staff could determine the full cost and identify funding sources. He noted that the project would be reviewed under CEQA following the Board direction.

Quincy Yaley, Community Development Department Director, reported that there needs to be a final project description before the project can be reviewed under CEQA. She explained that the project is currently a proposal, which is receiving comments to go before the Board to determine if the project will move forward.

A discussion ensued on the best use of the Historic Courthouse and how that could affect the project review under CEQA.

Vice-Chair Brejla opened the public comment period and asked if there was anyone who wished to speak on the proposed project.

A member of the public expressed frustration of the upheaval of the Board Chambers, were the Board just spent close to \$400,000 to upgrade the audio-visual equipment. She had reservations on whether the Historic Courthouse could withstand those types of upgrades without a significant and costly remodel. She stated that the space study has not been completed to justify that this is the correct use of the Historic Courthouse.

Commissioner Marovich recommended an outside location for the proposed elevator and suggested that the southwest location be explored further. She stated that she is not prepared to comment on the future use of the Historic Yaney Street Courthouse. She indicated that the reuse of the Historic Courthouse has not been adequately studied for impacts to the building and the associated cost to any proposed remodel. She reported that she consulted with two career Historic Preservation Architects that stated the need to have a Historic Structure Report (HSR) completed. She stated that this is the first step in the reuse of any Nationally Registered Historic Preservation rehabilitation project. She explained that this report will dissect a historic building, and discuss the details needed to determine the use the building can be supported without losing its historicity. She suggested staff look at the Treasurer, Tax-Collector and Assessor-Recorder's offices being moved in the Courthouse instead, as those offices function in a largely open format, which would minimize demolition of the character-defining areas and would restore a historic use to the Courthouse.

Commissioner Simons agreed with Commissioner Marovich, adding the reports presented at today's meeting are a first draft and are not sufficient for the Board of Supervisors to warrant a decision on whether they move forward with a 2.5-million-dollar concept that has not been thoroughly planned.

Mr. Erhardt assured the Commission that this is one of many presentations staff will put together for the Commission. He reiterated that staff cannot enter a contract to attain the documents requested by the Commission until the Board approves the use of the space.

It was moved by Commissioner Marovich and seconded by Commissioner Simons to recommend support of an exterior elevator at the best possible location, that the design meets the Secretary's Interior Standards, and no construction begin until the totality of the project with interior remodel is finalized; recommend the relocation of the Administration offices to the courthouse with the least impact to the historic fabric of the Historic Courthouse; recommend staff take the information provided in the Historic Building Analysis and convert that into a Historic Structures Report in order for the staff, Board of Supervisors and the HPRC have the information needed to ensure the best decision for the Historic building; and recommend the HPRC and public continued to be solicited for comments throughout the process.

Chair Brejla: Absent
Vice-Chair DeHart: Aye
Commissioner Smith: Absent
Commissioner Rasmussen: Aye
Commissioner Bryant: Aye
Commissioner Marovich: Aye
Commissioner Simons: Aye
Commissioner Hodson: Absent
Commissioner LaKamp: Absent

Chair Brejla called for the vote. 6; Ayes, 0; Noes, 0; Abstain

Motion carried: 5 – 0 – 0 with Chair Brejla and Commissioners Smith, Hodson, and LaKamp being absent.

ADJOURNMENT:

Vice-Chair Dehart adjourned the meeting.

Respectfully,

Quincy Yaley, AICP
Community Development Department Director